

SITE DEVELOPMENT DRAWINGS

GRAND SAVINGS BANK – FARMINGTON BRANCH

12245 W. HIGHWAY 62

CITY OF FARMINGTON, ARKANSAS

REVISION 1 - FOR REVIEW
NOVEMBER, 2025
LARGE-SCALE DEVELOPMENT

CONTACT LIST:

CITY OF FARMINGTON PLANNING DEPT.

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FARMINGTON, AR 72730
PHONE: (479) 383-3885

CITY OF FARMINGTON PUBLIC WORKS

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CITY OF FARMINGTON FIRE DEPARTMENT

CONTACT: BELLE LUND, FIRE CHIEF
372 W. MAIN ST.
FARMINGTON, AR 72730
PHONE: (479) 383-3338

OWNER/DEVELOPER

GRAND SAVINGS BANK
3401 SW 2ND STREET
BENTONVILLE, AR 72712

ARKANSAS DEPARTMENT OF HEALTH

CONTACT: WENDY COOPER, P.E.
DIVISION OF ENGINEERING
4850 W. MARKHAM STREET
LITTLE ROCK, AR 72205
PHONE: (501) 661-2000

LAND SURVEYOR

CONTACT: WENDY COOPER, P.E.
PO BOX 13
CAVE SPRING, AR 72718
PHONE: (479) 866-4138

ARCHITECT

CONTACT: DAVID BURNS, AIA
800 TRIN BLVD, SUITE 1
BENTONVILLE, AR 72712

SAG UTILITY - BLACK HILLS ENERGY

CONTACT: CONNOR BRIDGEMAN
655 E. MILLAR DRIVE
FAVETTVILLE, AR 72733
EMAIL: connor.bridgeman@bhe.com

POD COMMUNICATION

CONTACT: RANDY BUTLER
4901 S. 40TH ST
SPRINGDALE, AR 72762
PHONE: (479) 717-0738

SOUTHWESTERN ELECTRIC POWER (SWEPAC)

CONTACT: GEORGE ROTH
101 W. TOWNSHIP STREET
FAVETTVILLE, AR 72733
PHONE: (479) 973-2377
EMAIL: geroth@sepc.com

OWNER:

GRAND SAVINGS BANK
3401 SW 2ND ST, STE 115
BENTONVILLE, AR 72712
PROPERTY:
12245 W. HIGHWAY 62
FARMINGTON, AR 72730

GENERAL NOTES:

1. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COORDINATING WITH ARKANSAS ONE-CALL AT LEAST 48 HOURS BEFORE ANY DIGGING BEGINS.
2. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONDITIONS ON THE SITE DURING CONSTRUCTION AND MUST BE WITHIN INDUSTRY AND OSHA ACCEPTED STANDARDS FOR SAFETY AT ALL TIMES. INCLUDED BUT NOT LIMITED TO WORKING HOURS, THE ENGINEER SHALL NOT BE RESPONSIBLE TO MONITOR SAFETY STANDARDS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL DEMOLITION AND CONSTRUCTION MATERIALS, IN A LAWFUL MANNER, AT STATE AND FEDERALLY ACCEPTED SITES.
4. ALL DESIGNS SHOWN HEREIN ARE IN ACCORDANCE WITH THE INDUSTRY ACCEPTED STANDARDS AT THE TIME.
5. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY DAMAGE TO NEIGHBORING PROPERTIES.
6. IN THE EVENT THAT THERE IS A QUESTION WITH REGARD TO THE DESIGN INTENT, THE CONTRACTOR SHALL CONSULT WITH THE ENGINEER.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING IN ACCORDANCE WITH ALL MUNICIPALITY CONSTRUCTION STANDARDS, WHERE APPLICABLE.

PLANS PREPARED BY:



4IE Engineering, Inc.
PO BOX 98
CAVE SPRING, AR 72718
479.381.1988



3401 SW 2ND STREET, SUITE 115
BENTONVILLE, AR 72712
479.715.6822



VICINITY MAP
N.T.S.



SHEET INDEX

- | | |
|----------|-----------------------------------|
| 1. C1.0 | - COVER SHEET |
| 2. C1.0 | - TOPOGRAPHIC AND BOUNDARY SURVEY |
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REVISION 1 - FOR REVIEW
NOVEMBER, 2025
LARGE-SCALE DEVELOPMENT



GRAND SAVINGS BANK - FARMINGTON BRANCH
FARMINGTON, ARKANSAS

COVER SHEET



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DATE	DRAWN
11-11-2025	FF
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FF	FF

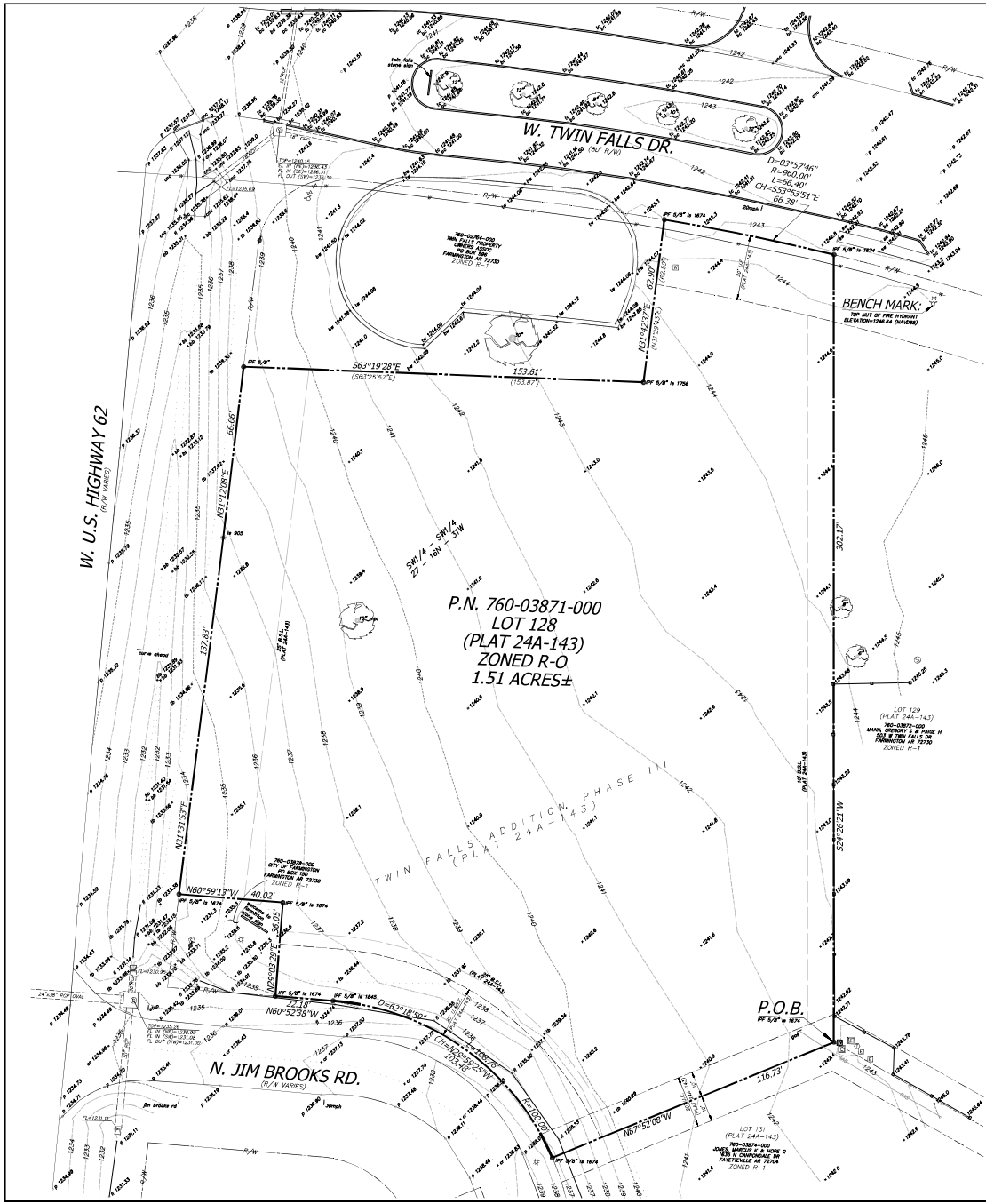
FOR
REVIEW
PROJECT NO.
1163

SHEET
C1.0

CITY OF FARMINGTON NOTE:
REVIEW OF THESE PLANS IS LIMITED TO GENERAL COMPLIANCE WITH CITY CODES AND REGULATIONS AND DOES NOT WARRANT THE ENGINEER'S DESIGN OR INSURE THE DEVELOPER OF ANY REQUIREMENTS. EVEN IF ERRORS, OMISSIONS, OR ANY INADEQUACIES ARE DISCOVERED AFTER PLAN APPROVAL, THE CITY'S REQUIREMENTS SHALL GOVERN OVER ANY CONFLICTS WITH THE PLANS OR SPECIFICATIONS. ANY CONDITIONS DETERMINED IN THE FIELD WHICH REQUIRE CHANGES SHALL BE SUBJECT TO FURTHER REVIEW AND CORRECTIVE ACTION.

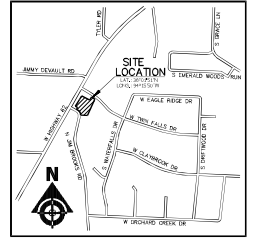
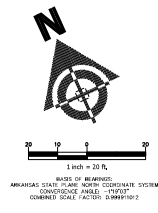
FERDINAND FOURIE
ARKANSAS REGISTERED PROFESSIONAL ENGINEER NO. 12538

11-11-25



ABBREVIATIONS

BSL	BUILDING SETBACK LINE
CR	CROWN OF ROAD
CP	CORRUGATED PLASTIC PIPE
CM	CORRUGATED METAL PIPE
RC	REINFORCED CONCRETE PIPE
TO	TOP OF CURB
BO	BOTTOM OF CURB
FL	FLOW LINE
LS	LICENSED SURVEYOR
AP	ASPHALT PAVING
CS	CONCRETE SIDEWALK
UL	UTILITY EASEMENT
PN	PARCEL NUMBER
TO	TOP OF BANK
BO	BOTTOM OF BANK



LEGEND:

●	IRON PIN FOUND
—	BOUNDARY LINE
—	PARCEL LINE
—	RIGHT OF WAY LINE
—	EASEMENT LINE
—	BUILDING SETBACK LINE
—	SECTION LINE
—	WOODEN FENCE
—	GAS LINE
—	ELECTRIC METER
—	ELECTRIC TRANSFORMER
—	LAMP POLE
—	FIRE HYDRANT
—	WATER METER
—	WATER VALVE
—	DRAINAGE MANHOLE
—	PLALED END SECTION
—	CABLE TV RISER
—	TELEPHONE RISER
—	SEPTIC TANK LID
—	UTILITY POLE
—	RECORDED BEARING/DIST.
—	DECIDUOUS TREE

ZONING AND SETBACK INFORMATION:

THIS PROPERTY IS CURRENTLY ZONED R-O (RESIDENTIAL OFFICE). BUILDING SETBACKS PER CITY OF FARMINGTON CODE OF ORDINANCES ARE AS FOLLOWS:
FRONT: 25 FEET
SIDE: 10 FEET
BACK: 30 FEET
NOTE: GRAPHICALLY DEPICTED BUILDING SETBACK LINES ARE PER PLAT 24A-143.

GENERAL NOTES:

SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL AND SIGNATURE OF THE SURVEYOR OF RECORD.
SURVEY IS NON-TRANSFERABLE TO PARTIES OUTSIDE OF THE CURRENT SUBJECT TRANSACTION.
SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED A PART OF THIS SURVEY.
THE UNDERGROUND UTILITIES HAVE BEEN SHOWN BASED ON OBSERVABLE SURFACE EVIDENCE MADE AT THE TIME OF THE FIELD SURVEY. FIELD CONDITIONS MAY HAVE AN IMPACT ON THESE LOCATIONS. THE SURVEYOR MAKES NO CERTIFICATION THAT THE SUBSURFACE UTILITIES SHOWN ARE IN THE LOCATION, OR SIZES INDICATED.
EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS PLAT, THE SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT PROPERTY: EASEMENTS, BUILDING SETBACK LINES; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; ZONING OR OTHER LAND-USE REGULATIONS; AND ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.

FLOOD CERTIFICATION

THIS PROPERTY IS NOT LOCATED WITHIN ANY PRESENTLY ESTABLISHED 100-YEAR FLOOD PLAIN, AS DETERMINED BY SCALING THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP FOR WASHINGTON COUNTY, ARIZONA AND INCORPORATED AREAS.
MAP NUMBER: 05143C0195G
REVISED DATE: JANUARY 25, 2024

SURVEY DESCRIPTION P.N. 760-03871-000

ALL OF LOT 128 OF THE TWIN FALLS ADDITION, PHASE III, AS RECORDED IN PLAT BOOK 24A AT PAGE 143, WASHINGTON COUNTY, ARIZONA, ALSO DESCRIBED AS FOLLOWS:
BEGINNING AT AN IRON PIN FOUND AT THE SOUTHEAST CORNER OF SAID LOT 28; THENCE N60°52'08"W 116.73 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF JIM BROOKS ROAD; THENCE ALONG SAID EASTERLY RIGHT-OF-WAY LINE AND ALONG A CURVE TO THE LEFT HAVING A DELTA OF 62°18'59", A RADIUS OF 100.00 FEET, A LONG CHORD THAT BEARS N60°52'25"W 100.00 FEET, AN ARC DISTANCE OF 100.00 FEET; THENCE N60°52'38"W 22.18 FEET TO AN IRON PIN FOUND; THENCE DEPARTING SAID EASTERLY RIGHT-OF-WAY LINE N20°02'22"E 36.05 FEET TO AN IRON PIN FOUND; THENCE N60°59'13"W 40.02 FEET TO AN IRON PIN FOUND ON THE EASTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY 62; THENCE ALONG SAID EASTERLY RIGHT-OF-WAY LINE N61°15'51"E 132.61 FEET TO AN ALUMINUM MONUMENT FOUND; THENCE N31°12'08"E 66.06 FEET TO AN IRON PIN FOUND; THENCE DEPARTING SAID EASTERLY RIGHT-OF-WAY LINE S60°19'28"E 155.61 FEET TO AN IRON PIN FOUND; THENCE N61°42'37"E 62.00 FEET TO AN IRON PIN FOUND ON THE SOUTHERLY RIGHT-OF-WAY LINE OF W. TWIN FALLS DRIVE; THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE AND ALONG A CURVE TO THE RIGHT HAVING A DELTA OF 107°14'47", A RADIUS OF 98.00 FEET, A LONG CHORD THAT BEARS S53°53'51"E 66.38 FEET, AN ARC DISTANCE OF 66.40 FEET; THENCE DEPARTING SAID SOUTHERLY RIGHT-OF-WAY LINE S20°02'21"W 50.17 FEET TO THE POINT OF BEGINNING, CONTAINING 1.51 ACRES, MORE OR LESS, SUBJECT TO ANY EASEMENTS, COVENANTS OR RESTRICTIONS OF RECORD OR FACT.



OWNER:
SLOW DOME PROPERTIES INC.
12245 W. HIGHWAY 62
SAN FRANCISCO, CA 94116

PROPERTY ADDRESS:
12245 W. HIGHWAY 62
FARMINGTON, AR 72730

STATE PLAT CODE: 500-16N-31W-27-330-72-1380
PAYA INC.
www.paya-inc.com
(479) 766-0128
mail@paya-inc.com



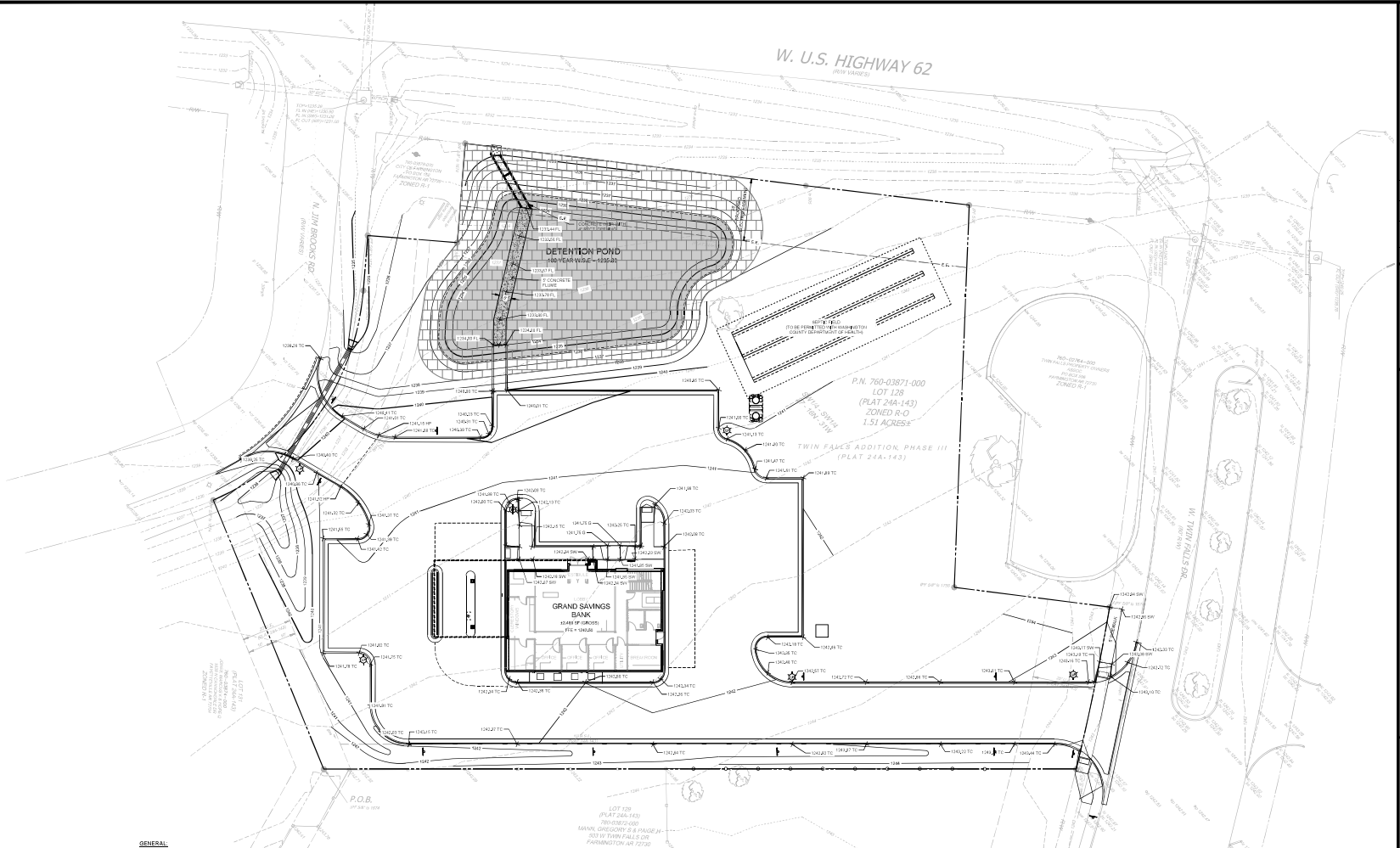
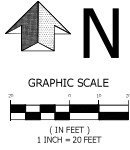
SURVEYOR'S DECLARATION:

I, LAZARO P. PAYA, HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS A BOUNDARY SURVEY MADE BY ME, BOUNDARY MARKERS AND LOT CORNERS SHOWN HEREON ACTUALLY EXIST. THEIR LOCATION, TYPE AND MATERIAL ARE CORRECTLY SHOWN. THIS MAP IS A TRUE REPRESENTATION OF THE TOPOGRAPHIC AND PHYSICAL FEATURES AS FOUND IN THE FIELD, AND ALL MINIMUM REQUIREMENTS OF THE ARIZONA MINIMUM STANDARDS FOR LAND SURVEYORS HAVE BEEN MET.

DATE OF EXECUTION: 09/30/2025
DRAWN BY: L. Lazaro Paya
LICENSED PROFESSIONAL SURVEYOR NO. 1380
STATE OF ARIZONA

TOPOGRAPHIC/BOUNDARY SURVEY

LOT 128 OF THE TWIN FALLS ADDITION, PHASE III
RECORDED IN PLAT BOOK 24A AT PAGE 143
CITY OF FARMINGTON, WASHINGTON COUNTY, ARIZONA
PREPARED FOR: GRAND SAVINGS BANK
DRAWN BY: LP SCALE: 1" = 20' DATE: September 30, 2025
REVISED: LP DWG: 2505A_TOPO SHEET: 1 OF 1



LEGEND

EXISTING	PROPOSED
IRON PUMP/POUND	
IRON PIN SET	
BOUNDARY LINE	
RIGHT-OF-WAY LINE	
EASEMENT LINE	
BUILDING SETBACK LINE	
ACCESS EASEMENT	
UTILITY EASEMENT	
DRAINAGE EASEMENT	
CURB AND GUTTER	
800	
SPOT ELEVATION	
TOP OF CURB	
GUTTER	
TOP OF WALL	
FINISHED GRADE	
FLARED END SECTION	
UNDERGROUND STORM DRAINAGE SYSTEM	
CURB INLET	
SCODING	
100-YEAR W.D.E.	
4'-0" CONCRETE REPAIR	
4' CURB INLET EXTENSION	

GENERAL

- CONTRACTOR SHALL INSTALL/USE ALL REQUIRED EQUIPMENT SO AS TO COMPLY WITH ALL SAFETY STANDARDS DECTATED BY OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS.
- CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY COMPANY AS NOTED ON THE COVER SHEET FOR ADJUSTMENT OF UTILITY LINES AFFECTED BY CUT AND FILL.
- AREAS TO BE GRADED SHALL BE CLEARED AND GRUBBED SO AS TO REMOVE ALL ORGANIC MATERIAL INCLUDING BUT NOT LIMITED TO VEGETATION, TREES, ROOTS, DEBRIS OR OTHER MATERIALS THAT WOULD AFFECT THE STABILITY OF THE FILL. IF UNCERTAINTY EXISTS AS TO THE SUITABILITY OF ANY MATERIALS, THE CONTRACTOR SHALL HAVE A REGISTERED GEOTECHNICAL ENGINEER MAKE THE FINAL DETERMINATION.
- CONTRACTOR SHALL ENSURE THAT THE FILL MATERIAL BE FREE OF ORGANIC MATERIALS, FROZEN MATERIALS, WICK, HEAVY COMPRESSIBLE MATERIALS, ROCKS, RUBBER, TIMBER, BRUSH, STUMPS, BUILDING DEBRIS, AND OTHER MATERIALS THAT WOULD NEGATIVELY AFFECT THE FILL MATERIAL.
- CONTRACTOR SHALL STOCK PILE AND MAINTAIN ALL GOOD TOP SOIL REMOVED FROM AREAS TO BE GRADED AND FILLED FOR USE IN FINAL GRADING ALL CRITICAL UNPAVED AREAS.
- CONTRACTOR SHALL PROOF ROLL BUILDING PADS AND SUBGRADE OF ALL AREAS TO BE PAVED PRIOR TO INSTALLATION OF PAVING MATERIALS. ANY SOFT AREAS SHALL BE REMOVED AND REPLACED WITH SELECT FILL AND COMPACTED AS NOTED IN THE PAVEMENT SECTION SHOWN ON THE DETAIL SHEET.

FINISHED GRADE AS INDICATED ON THESE DRAWINGS ARE THE TOP OF FINISHED SURFACE, IE, TOP OF PAVEMENT OR TOP OF SOFT FINISHED ELEVATION.

BUILDING FINISHED FLOOR ELEVATIONS (FFE) IS THE TOP OF THE BUILDING FLOOR SLAB.

THE GRADING CONTOURS AS PROVIDED ON THESE DRAWINGS IS TO CONVEY FINAL GRADING INTENT, AND ARE NOT EXACT.

THE BUILDING PAD SHALL BE COMPACTED TO 90% OF STANDARD PROCTOR DENSITY AND TEST RESULTS SHALL BE PROVIDED TO THE CITY OF LOWELL BUILDING INSPECTOR.

BENCH MARK:
TOP OF 10' HIGH CONCRETE
FOUNDATION (TWIN FALLS CHURCH)

FLOOD CERTIFICATION

THIS PROPERTY IS NOT LOCATED WITHIN ANY PRESENTLY ESTABLISHED 100-YEAR FLOOD PLAIN, AS DETERMINED BY SCALING THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP FOR WASHINGTON COUNTY, ARKANSAS AND INCORPORATED AREAS.

MAP NUMBER: 01X402010
REVISED DATE: JANUARY 25, 2024

REVISIONS

NO.	DATE	BY	DESCRIPTION
1	11-11-2025	FF	



GRAND SAVINGS BANK - FARMINGTON BRANCH
FARMINGTON, ARKANSAS

GRADING PLAN



DATE: 11-11-25

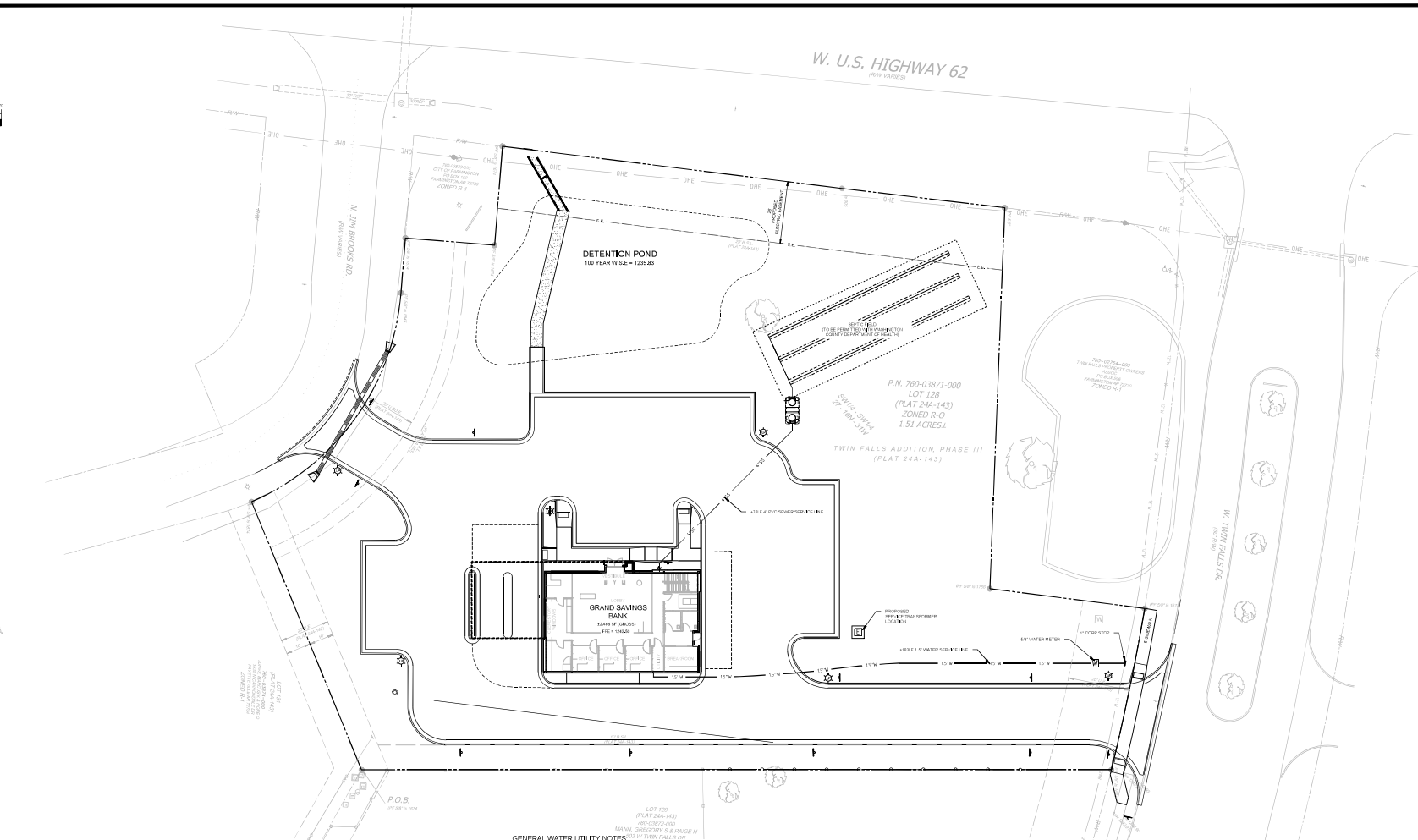
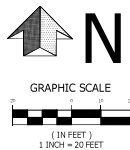
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DATE	DRAWN
11-11-2025	FF
DESIGNED	CHECKED
FF	FF

FOR REVIEW

PROJECT NO.
1163
SHEET
C3.0



LEGEND

EXISTING

BON PRINCE FOUND
IRON PIPE SET
BENCH MARK
BOUNDARY LINE
RIGHT-OF-WAY LINE
EASEMENT LINE
BUILDING SETBACK LINE
CURB AND GUTTER
TAPPING SLEEVE AND VALVE
FRI HYDRANT ASSEMBLY
(SLOPE WATER METER (USE AS NOTICED)
(DOUBLE WATER METER (USE AS NOTICED)

SANITARY SEWER MANHOLE
24" NODI 30 SCHEDULE 40 CONCRETE
N.J. GATEVALVE WITH ADJUSTABLE VALVE BOX
M. JETTING WITH THRUST BLOCKING
M. REDUCER WITH THRUST BLOCKING
60" M.J. FITTING WITH THRUST BLOCKING
90° M.J. FITTING WITH THRUST BLOCKING
SANITARY SEWER CLEANOUT
18" M.J. FITTING WITH THRUST BLOCKING
11.25" M.J. FITTING WITH THRUST BLOCKING
22.5" M.J. FITTING WITH THRUST BLOCKING
2" WATER SERVICE LINE
FULL DEPTH AUST CLASS 7
BASEFLY

ELECTRIC TRANSFORMER
INSTALLED BY ONORCO

PROPOSED

GENERAL UTILITY NOTES:

- [illegible]

GENERAL WATER UTILITY NOTES:

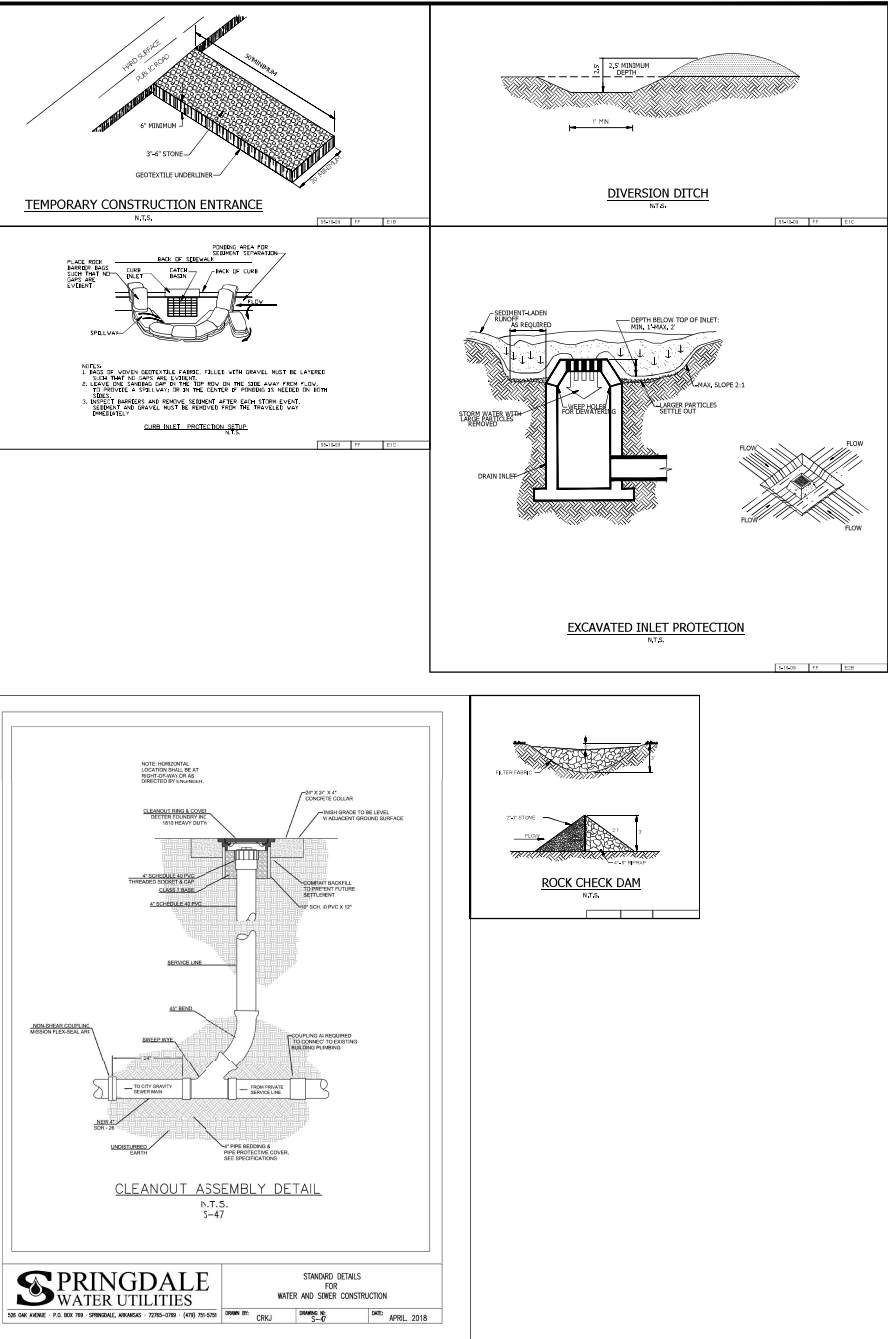
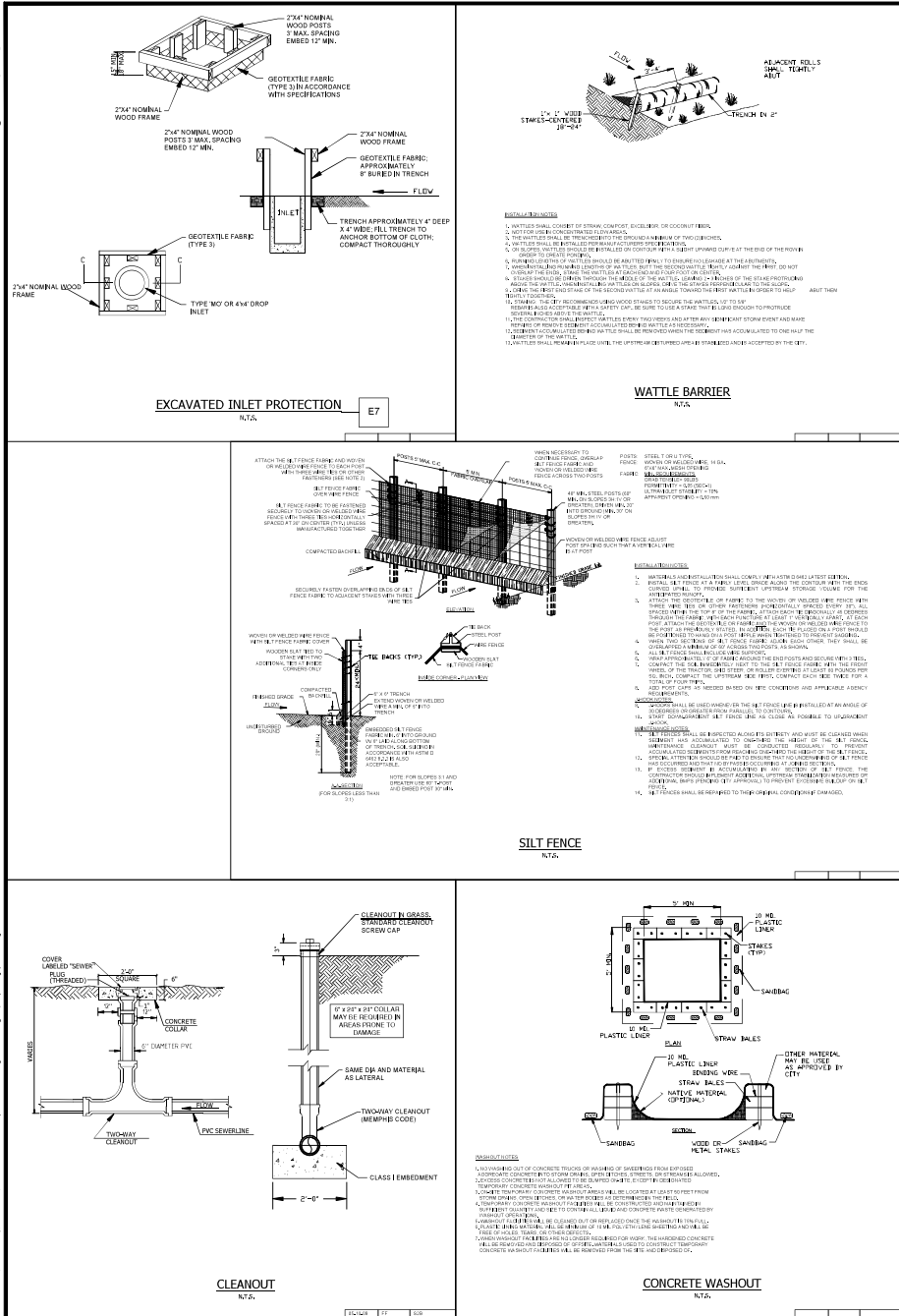
- UNLESS OTHERWISE SHOWN, ALL WATER LINES SHALL BE PVC AWWA C900, DR14 WITH 30" MIN. COVER ABOVE TOP OF PIPE.
3. ALL WATER LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF FAYETTEVILLE WATER UTILITIES STANDARDS AND SPECIFICATIONS, AND APPROPRIATE STATE AND FEDERAL AGENCIES REGULATIONS.
4. ALL WATER LINES SHALL BE HYDROSTATICALLY TESTED AND OBSPECTED IN ACCORDANCE WITH CITY STANDARDS AND WITH A CITY INSPECTOR AND ENGINEER PRESENT.
5. ALL FIRE HYDRANTS SHALL BE CITY APPROVED AND VALVE INSTALLED.
6. ALL VALVES, MANHOLES, AND SETS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF FAYETTEVILLE WATER UTILITIES STANDARDS AND SPECIFICATIONS, AND APPROPRIATE STATE AND FEDERAL AGENCIES REGULATIONS.
7. ALL SERVICES SHALL ADJACENT PROPERTY OWNERS.
8. ALL SERVICES SHALL BE THE SAME TRENCH WITH ANY OTHER UNDERGROUND UTILITY.
9. MAINTAIN A MINIMUM 1' HORIZONTAL SEPARATION BETWEEN WATER AND SANITARY SEWER LINES.
10. MAINTAIN A MINIMUM 4' FOOT VERTICAL SEPARATION BETWEEN WATER AND ANY OTHER UTILITY LINE.
11. MAINTAIN AT LEAST 1' HORIZONTAL SEPARATION BETWEEN WATER AND ANY OTHER UTILITY LINE.

GENERAL SEWER UTILITY NOTES:

1. ALL SANITARY SEWER LINES SHALL BE ASTM A200A STD-26 WITH 3" VITRUM COVER.
2. ALL SANITARY SEWER SHALL BE IN ACCORDANCE WITH THE CITY OF DAYTONE'S STANDARDS AND SPECIFICATIONS AND ARKANSAS DEPARTMENT HEALTH RULES AND REGULATIONS.
3. ALL SANITARY SEWER MANHOLE LOCATED IN GRASS AREAS - NON-PAVED AREAS SHALL BE CONSTRUCTED SO THAT THE RIM OF MANHOLE IS TWO-INCHES (2") TO FOUR-INCHES (4") ABOVE FINISHED GRADE. IF THE FINISHED GRADE AT THE EVENT HUB CAN NOT BE ACHIEVED, CONTRACTOR SHALL INSTALL A CEMENT CONCRETE CURB TO RAISE THE FINISHED GRADE TO THE REQUIRED ELEVATION.
4. CONTRACTOR SHALL MATCH TOP OF PROPOSED SANITARY SEWER MANHOLE TO THE PROPOSED GRADE. IF A DISCREPANCY OCCURS BETWEEN THE PROPOSED GRADE AND PROPOSED MANHOLE ELEVATION, THE CONTRACTOR SHALL CORRECT THE DISCREPANCY IF MORE THAN 4 INCHES THE CONTRACTOR SHALL CONTACT THE CITY OF DAYTONE FOR RESOLUTION.
5. ALL SANITARY SEWER MANHOLES ARE TO BE CORRELATED WITH THE USE OF THE CITY OF DAYTONE'S STANDARD 15" DIA. 48" DEEP 40-PIECE RIBBON GROUT. THE INSTALLATION SHALL THEN BE VACUUM TESTED FOR LEAKS.
6. ALL SANITARY SEWER MANHOLES SHALL BE VACUUM TESTED IN ACCORDANCE WITH THE CITY OF DAYTONE'S STANDARD 15" DIA. 48" DEEP 40-PIECE RIBBON GROUT.

BENCH MARK
TOP NUT OF FIRE HYDRANT
ELEVATION=1244.84 (NAVD83)

[illegible]



DATE	11-11-25	DESIGNED	FF	FOR REVIEW	PROJECT NO.
DRAWN	FF	CHECKED	FF		1163
					SHEET
					C5.1

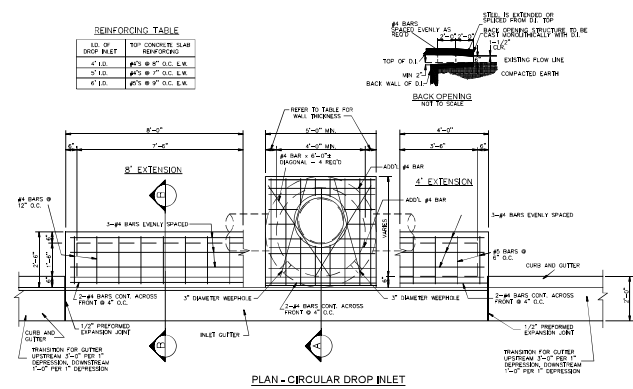


GRAND SAVINGS BANK - FARMINGTON BRANCH
FARMINGTON, ARKANSAS
DETAIL SHEET 2

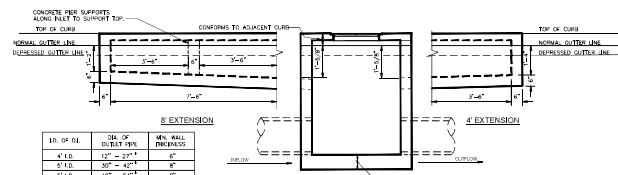


DATE: 11-11-25
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REINFORCING TABLE	
LD OF DROP INLET	TOP CONCRETE SLAB REINFORCING
4" L.D.	#3 @ 8" O.C. E.W.
5" L.D.	#3 @ 7" O.C. E.W.
6" L.D.	#3 @ 6" O.C. E.W.



1/8" = 1' 0"



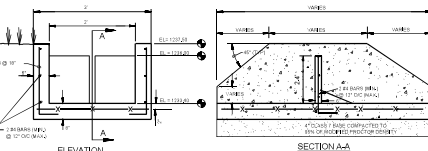
1/8" = 1' 0"

- NOTES**
1. ALL EXPOSED CONCRETE TO HAVE 1/4" CHAMFER.
 2. ALL REINFORCING BARS SHALL BE GRADE 60 AND SHALL HAVE A MINIMUM 1/2" COVER UNLESS OTHERWISE NOTED.
 3. BASE AND INLET WALLS SHALL BE CAST MONOLITHICALLY.
 4. INLETS SHALL BE FINISHED MONOLITHICALLY WITH PROFILE.
 5. CURB INLET BACK OPENING LOCATIONS SHALL BE DETERMINED BY THE FIELD BY THE ENGINEER.
 6. WHEN AN INLET IS PLACED ADJACENT TO CONCRETE, THE OUTLET EXPANSION SHALL BE FORMED IN CONCRETE. PARALLEL.
 7. FIRST RAY ENTER BOX FROM ANY ANGLE OR ELEVATION AS DIRECTED BY THE ENGINEER. REINFORCING BARS SHALL BE CUT TO CLEAR PIPE BY 1/4" MIN.

8. THE EXPANSION JOINT SHALL HAVE A THICKNESS OF 1/2" IRON AND CONFORM TO ADJACENT RAILS.
9. REFER TO CURB AND OUTLET DETAILS FOR APPROPRIATE CURB CONFIGURATION AND OUTLET DIMENSIONS AT EACH INLET LOCATION.
10. REFER TO PLAN AND PROFILE SHEETS TO DETERMINE EXTENDING AND USE UP AND ACCOMPANYING CIRCULAR DROP INLET.
11. CONCRETE FOR CIRCULAR DROP INLET SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI.

SECTION - CIRCULAR DROP INLET
NOT TO SCALE

1/8" = 1' 0"

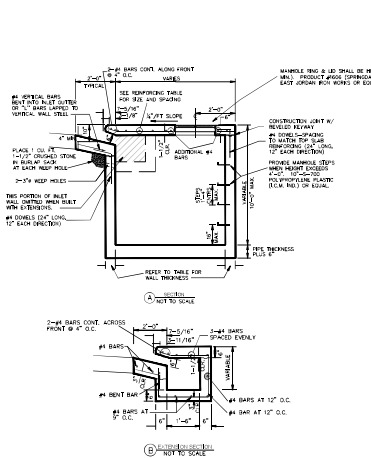


WATER QUALITY POND OUTFLOW WEIR STRUCTURE
NOT TO SCALE

1/8" = 1' 0"

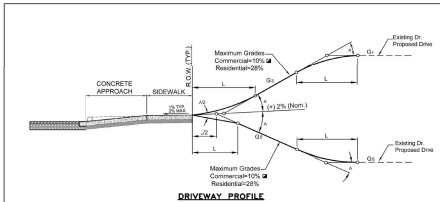
GENERAL NOTES

- SUBGRADE**
1. CONTACT TO RPA MAXIMUM DRY DENSITY AS DETERMINED BY AASHTO T-99. EXTENDED PROFILES AT 2' OR 3' OF PROPORTION OF MAXIMUM DRY DENSITY.
- CONCRETE**
1. COMPRESSIVE STRENGTH: 4,000 PSI MINIMUM AT 28 DAYS, WITH 10% MINIMUM STRENGTH.
 2. REINFORCING: ELEVATED REINFORCING SHALL BE 1/2" O.C. UNLESS OTHERWISE NOTED.



DETAILED SECTIONS - CIRCULAR (A,H,T,D, TYPE MO) DROP INLET
NOT TO SCALE

1/8" = 1' 0"



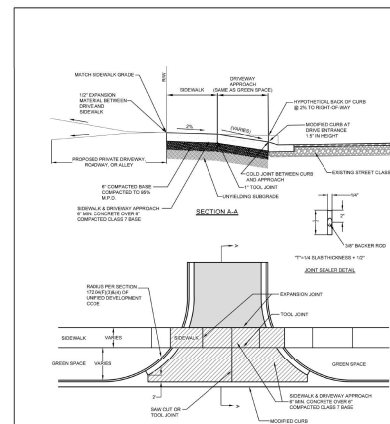
The maximum 10% commercial grade may be exceeded with written permission of the Fire Chief provided this does not create any adverse roadway operational or safety impacts. This shall be approved by the City Engineer and be supported by documented site specific findings.

Definitions

- G = Grades (%)
A = Algebraic Difference in Grades (%)
L = Transition Length (Tabulated Length)
A = 14% Transition Not Required
A = 14% Weight or Rounded Transition Required

GRADE	LENGTHS IN FEET			
	STRAIGHT	ROUNDED	STRAIGHT	ROUNDED
1.0%	100	100	100	100
2.0%	100	100	100	100
3.0%	100	100	100	100
4.0%	100	100	100	100
5.0%	100	100	100	100
6.0%	100	100	100	100
7.0%	100	100	100	100
8.0%	100	100	100	100
9.0%	100	100	100	100
10.0%	100	100	100	100
11.0%	100	100	100	100
12.0%	100	100	100	100
13.0%	100	100	100	100
14.0%	100	100	100	100
15.0%	100	100	100	100
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27.0%	100	100	100	100
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29.0%	100	100	100	100
30.0%	100	100	100	100
31.0%	100	100	100	100
32.0%	100	100	100	100
33.0%	100	100	100	100
34.0%	100	100	100	100
35.0%	100	100	100	100
36.0%	100	100	100	100
37.0%	100	100	100	100
38.0%	100	100	100	100
39.0%	100	100	100	100
40.0%	100	100	100	100
41.0%	100	100	100	100
42.0%	100	100	100	100
43.0%	100	100	100	100
44.0%	100	100	100	100
45.0%	100	100	100	100
46.0%	100	100	100	100
47.0%	100	100	100	100
48.0%	100	100	100	100
49.0%	100	100	100	100
50.0%	100	100	100	100

COMMERCIAL DRIVEWAY WITH SIDEWALK - PROFILE
NOT TO SCALE



- NOTES**
1. ALL CURB EXPANSION JOINTS (NOT INCHES) SHALL BE PROVIDED AT THE EDGE OF THE SIDEWALK ADJACENT TO THE STREET.
 2. CONCRETE FOR SUBGRADE OR BASE SHALL BE 10% COMPACTED TO RPA MAXIMUM DRY DENSITY AS DETERMINED BY AASHTO T-99. EXTENDED PROFILES AT 2' OR 3' OF PROPORTION OF MAXIMUM DRY DENSITY.
 3. NO CONCRETE FOR BARS AND REINFORCING SHALL BE CONSTRUCTED OF A PORTLAND CEMENT CONCRETE WHICH WILL PRODUCE A CONCRETE.
 4. ALL BARS AND REINFORCING SHALL BE CONSTRUCTED OF A PORTLAND CEMENT CONCRETE WHICH WILL PRODUCE A CONCRETE.
 5. ALL BARS AND REINFORCING SHALL BE CONSTRUCTED OF A PORTLAND CEMENT CONCRETE WHICH WILL PRODUCE A CONCRETE.
 6. ALL BARS AND REINFORCING SHALL BE CONSTRUCTED OF A PORTLAND CEMENT CONCRETE WHICH WILL PRODUCE A CONCRETE.
 7. ALL BARS AND REINFORCING SHALL BE CONSTRUCTED OF A PORTLAND CEMENT CONCRETE WHICH WILL PRODUCE A CONCRETE.

COMMERCIAL DRIVEWAY DETAIL

COMMERCIAL DRIVEWAY WITH SIDEWALK
NOT TO SCALE

SECTION 04

CONCRETE

DATE

BY

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LANDSCAPE SPECIFICATIONS

DESCRIPTION
PROPOSED TREES, SHRUBS, GROUND COVERS, SOO, AND ANNUALS/PERENNIALS AS SHOWN AND SPECIFIED ON THE LANDSCAPE PLAN. THE WORK INCLUDES:
1. SITE PREPARATION.
2. TREES, SHRUBS, GROUND COVERS, AND ANNUALS/PERENNIALS.
3. PLANTING AREAS.
4. TOP SOIL, MULCH AND PLANTING ACCESSORIES.
5. MAINTENANCE.

QUALITY ASSURANCE
PLANT NAMES INDICATED COMPLY WITH "STANDARDIZED PLANT NAMES" AS ADOPTED BY THE LATEST EDITION OF THE AMERICAN JOINT COMMITTEE OF HORTICULTURAL NOMENCLATURE. NAMES OF VARIETIES NOT LISTED CONFORM GENERALLY WITH NAMES ACCEPTED BY THE NURSERY TRADE. PROVIDE STOCK TRUE TO BOTANICAL NAME AND LOBBLY TAGGED.

COMPLY WITH SEEDING AND GRADING STANDARDS OF THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK". A PLANT SHALL BE OBSERVED AS IT STANDS IN ITS NATURAL POSITION.
ALL PLANTS SHALL BE NURSERY GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR A MINIMUM OF 2 YEARS.
NURSERY STOCK FURNISHED SHALL BE AT LEAST THE MINIMUM SIZE INDICATED, LARGER STOCK IS ACCEPTABLE. AT NO ADDITIONAL COST, AND PROVIDING THAT THE LARGER PLANTS WILL NOT BE CUT BACK TO SIZE INDICATED. PROVIDE PLANTS INDICATED BY TWO MEASUREMENTS SO THAT ONLY A MAXIMUM OF 25% ARE OF THE MINIMUM SIZE INDICATED AND 75% ARE OF THE MAXIMUM SIZE INDICATED.

BEFORE SUBMITTING A BID, THE CONTRACTOR SHALL HAVE INVESTIGATED THE SOURCES OF SUPPLY AND BE SATISFIED THAT THEY CAN SUPPLY THE LISTED PLANTS IN THE SPEC. VARIETY AND QUALITY AS SPECIFIED. FAILURE TO TAKE THIS PRECAUTION WILL NOT RELIEVE THE CONTRACTOR FROM THEIR RESPONSIBILITY FOR FURNISHING AND INSTALLING ALL PLANT MATERIALS IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS WITHOUT ADDITIONAL COST TO THE OWNER. THE LANDSCAPE ARCHITECT SHALL APPROVE ANY SUBSTITUTES OF PLANT MATERIAL, OR CHANGES IN PLANT MATERIAL SIZE, PRIOR TO THE LANDSCAPE CONTRACTOR SUBMITTING A BID.

DELIVER, STORAGE AND HANDLING
TAKE ALL PRECAUTIONS OUTSTANDING IN GOOD TRADE PRACTICE IN PREPARING PLANTS FOR MOVING. WORKMANSHIP THAT FAILS TO MEET THE HIGHEST STANDARDS WILL BE REJECTED. SPRAY DECIDUOUS PLANTS IN FOLiage WITH APPROVED ANTISEPTICANT IMMEDIATELY AFTER CROPPING TO PREVENT DROUGHT, OR PEST, TRANSPORT AND HANDLE PLANTS WITH CARE TO ENSURE PROTECTION AGAINST INJURY. INSPECT CERTIFICATES REQUIRED BY LAW SHALL ACCOMPANY EACH PLANT BEFORE OR PRIOR TO STOCK. PROTECT ALL PLANTS FROM DRYING OUT. IF PLANTS CANNOT BE PLANTED IMMEDIATELY UPON DELIVERY, PROPERLY PROTECT THEM WITH SOIL, NOT FRESH BARK, IN A MANNER ACCEPTABLE TO THE LANDSCAPE ARCHITECT. WATER HELD ON PLANTING DAILY. NO PLANT SHALL BE BOUND WITH ROPE OR WIRE IN A MANNER THAT COULD DAMAGE OR BREAK THE BRANCHES, COVER PLANTS TRANSPORTED ON OPEN VEHICLES WITH A PROTECTIVE COVERING TO PREVENT WIND BURN.

PROJECT CONDITIONS
PROTECT EXISTING UTILITIES, PAVING, AND OTHER FACILITIES FROM DAMAGE CAUSED BY LANDSCAPE OPERATIONS.

A COMPLETE LIST OF PLANTS, INCLUDING A SCHEDULE OF SEEDS, QUANTITIES, AND OTHER REQUIREMENTS ARE SHOWN ON THE DRAWINGS. IN THE EVENT THAT QUANTITY DISCREPANCIES OR MATERIAL OMISSIONS OCCUR IN THE PLANT MATERIALS LIST, THE PLANTING PLANS SHALL GOVERN.

THE IRRIGATION SYSTEM WILL BE INSTALLED PRIOR TO PLANTING. LOCATE, PROTECT AND MAINTAIN THE IRRIGATION SYSTEM DURING PLANTING OPERATIONS. REPAIR IRRIGATION SYSTEM COMPONENTS DAMAGED DURING PLANTING OPERATIONS AT THE CONTRACTOR'S EXPENSE. REFER TO THE IRRIGATION SPECIFICATIONS, IRRIGATION PLAN AND IRRIGATION DETAILS.

DO NOT BEGIN LANDSCAPE ACCESSORY WORK BEFORE COMPLETION OF FINAL GRADING OR SURFACING.

WARRANTY
WARRANT PLANT MATERIAL TO REMAIN ALIVE, BE HEALTHY AND IN A VIGOROUS CONDITION FOR A PERIOD OF 1 YEAR AFTER COMPLETION AND FINAL ACCEPTANCE OF THE PROJECT.

REPLACE, IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, ALL PLANTS THAT ARE DEAD OR ARE IN AN UNHEALTHY, OR UNUSUALLY CONDITION, AND HAVE LOST THEIR NATURAL SHAPE DUE TO DEAD BRANCHES, OR OTHER CAUSES DUE TO THE CONTRACTOR'S NEGLIGENCE. THE COST OF SUCH REPLACEMENTS BY THE CONTRACTOR'S EXPENSE. WARRANT ALL REPLACEMENT PLANTS FOR 1 YEAR AFTER INSTALLATION.

WARRANTY SHALL NOT INCLUDE DAMAGE, LOSS OF TREES, PLANTS, OR GROUND COVERS CAUSED BY FIRES, FLOODS, FREEZING RAINS, LIGHTNING STORMS, WINDS OVER 70 MPH PER HOUR, WINTER KILL CAUSED BY EXTREME COLD, SEVERE WINTER CONDITIONS NOT TYPICAL OF PLANTING AREA, AND/OR ACTS OF VANDALISM OR NEGLIGENCE ON A PART OF THE OWNER.

REMOVE AND IMMEDIATELY REPLACE ALL PLANTS FOUND TO BE UNSATISFACTORY DURING THE INITIAL PLANTING INSTALLATION.
MAINTAIN AND PROTECT PLANT MATERIAL, LAWNS, AND IRRIGATION UNTIL FINAL ACCEPTANCE IS MADE.

ACCEPTANCE
INSPECTION OF PLANTED AREAS WILL BE MADE BY THE OWNER'S REPRESENTATIVE.
1. PLANTED AREAS WILL BE ACCEPTED PROVIDED ALL REQUIREMENTS, INCLUDING MAINTENANCE, HAVE BEEN COMPLIED WITH AND PLANT MATERIALS ARE ALIVE AND IN A HEALTHY, VIGOROUS CONDITION.
UPON ACCEPTANCE, THE CONTRACTOR SHALL COMMENCE THE SPECIFIED PLANT MAINTENANCE.

CODES, PERMITS AND FEES
OBTAIN ANY NECESSARY PERMITS FOR THIS SECTION OF WORK AND PAY ANY FEES REQUIRED FOR PERMITS.
THE ENTIRE INSTALLATION SHALL FULLY COMPLY WITH ALL LOCAL AND STATE LAWS AND ORDINANCES, AND WITH ALL ESTABLISHED CODES APPLICABLE THERETO, ALSO AS DELETED ON THE LANDSCAPE AND IRRIGATION CONSTRUCTION SET.

PART 2 - PRODUCTS

MATERIALS
PLANTS: PROVIDE TYPICAL OF THEIR SPECIES OR VARIETY, WITH NORMAL, DENSELY DEVELOPED BRANCHES AND VIGOROUS. PREVIOUS ROOT SYSTEMS PROVIDE ONLY SOUND, HEALTHY, VIGOROUS PLANTS FREE FROM DEFECTS, OBSERVING KNOTS, SUN SCALD INJURIES, FROST CRACKS, ABRASIONS OF THE BARK, PLANT DISEASES, INSECT EGGS, BORERS, AND ALL FORMS OF INFESTATION. ALL PLANTS SHALL HAVE FULLY DEVELOPED FIRM WITHOUT Voids AND OPEN SPACES. PLANTS HELD ON STORAGE WILL BE REJECTED IF THEY SHOW SIGNS OF GROWTH DURING THE STORAGE PERIOD.

1. BALLED AND PLANTS WRAPPED WITH BURLAP, TO HAVE FIRM, NATURAL, BALLS OF EARTH OF SUFFICIENT DIAMETER AND DEPTH TO ENCOMPASS THE FIBROUS AND FEEDING ROOT SYSTEM NECESSARY FOR FULL RECOVERY OF THE PLANT. PROVIDE BALL SIZES COMPLYING WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK. CRACKED OR MUSHROOMED BALLS, OR SIGNS OF CIRCLING ROOTS ARE NOT ACCEPTABLE.
2. CONTAINER-GROWN STOCK: GROWN IN A CONTAINER FOR SUFFICIENT LENGTH OF TIME FOR THE ROOT SYSTEM TO HAVE DEVELOPED TO HOLD ITS SOIL, TOGETHER, FIRM AND WHOLE.
 - a. NO PLANTS SHALL BE LOOSE IN THE CONTAINER.
 - b. CONTAINER STOCK SHALL NOT BE PLANTED.
3. PLANTS PLANTED IN ROWS SHALL BE MATCHED IN FORM.
4. PLANTS LARGER THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED WHEN ACCEPTABLE TO THE LANDSCAPE ARCHITECT.
 - a. IF THE USE OF LARGER PLANTS IS ACCEPTABLE, INCREASE THE SPREAD OF ROOTS OR ROOT BALL IN PROPORTION TO THE SIZE OF THE PLANT.
5. THE HEIGHT OF THE TREES, MEASURED FROM THE CROWN OF THE ROOTS TO THE TOP OF THE TOP BRANCH, SHALL NOT BE LESS THAN THE MINIMUM SIZE DESIGNATED IN THE PLANT LIST.
6. NO PRUNING WOUNDS SHALL BE PRESENT WITH A DIAMETER OF MORE THAN 1" AND SUCH WOUNDS MUST SHOW VIGOROUS BARK ON ALL EDGES.
7. EVERGREEN TREES SHALL BE BRANCHED TO THE GROUND OR AS SPECIFIED IN PLANT LIST.
8. SHRUBS AND SMALL PLANTS SHALL MEET THE REQUIREMENTS FOR SPREAD AND HEIGHT INDICATED IN THE PLANT LIST.
 - a. THE MEASUREMENTS FOR HEIGHT SHALL BE TAKEN FROM THE GROUND LEVEL TO THE HEIGHT OF THE TOP OF THE PLANT AND NOT THE LONGEST BRANCH.
 - b. SINGLE STEMMED OR TWIG PLANTS WILL NOT BE ACCEPTED.
 - c. SIDE BRANCHES SHALL BE CONSIDERED WELL-BRANCHED, AND THE PLANT AS A WHOLE WELL-BRANCHED TO THE GROUND.
 - d. PLANTS SHALL BE IN A MOIST, VIGOROUS CONDITION, FREE FROM DEAD WOOD, BRUISES, OR OTHER ROOT OR BRANCH INJURIES.

ACCESSORIES
TOPSOIL: SHALL BE FERTILE, FIBRILE, NATURAL TOPSOIL OF LOAMY CHARACTER, WITHOUT ADMIXTURE OF SUBSOL MATERIAL, OF ANY KIND FROM A WELL-DRAINABLE SITE, REASONABLY FREE FROM CLAY, LUMPS, COARSE SANDS, STONES, ROOTS, STEAKS, AND OTHER FOREIGN MATERIALS, WITH ACCEPTABLE RANGE OF BETWEEN PH 6.5 AND 6.8.

- NOTE: ALL PLANTING AREAS SHALL BE CLEARED OF CONSTRUCTION DEBRIS, IE, CONCRETE, RUBBLE, STONES, BUILDING MATERIAL, ETC., PRIOR TO ADDING AND SPREADING OF THE TOP SOIL.
1. PLANTING AREAS: SHALL BE A MINIMUM OF 4" DEEP, 12" WIDE, AND 12" HIGH, AND 12" DEEP, 12" WIDE, AND 12" HIGH.
2. PLANTING BED AREAS: SPREAD A MINIMUM 4" LAYER OF TOP SOIL AND RAKE SMOOTH.
3. LANDSCAPE BLENDED AREAS: CONTRACTOR SHALL EXCAVATE TO A MINIMUM OF 24" DEPTH, REMOVE AND REPLACE ANY SUBGRADE UNSUITABLE FOR PLANTING, ONCE SUBGRADE IS CLEAN OF DEBRIS AND LOOSENED, ADD TOPSOIL TO A MINIMUM OF 4" ORGANIC MATTER AND TILL TO A MINIMUM 12" DEPTH.
4. ANNUAL/PERENNIAL BED AREAS: ADD A MINIMUM OF 4" ORGANIC MATTER AND TILL TO A MINIMUM 12" DEPTH.

PART 3 - EXECUTION
INSPECTION
PRIOR TO BEGINNING WORK, THE LANDSCAPE CONTRACTOR SHALL INSPECT THE SUBGRADE, GENERAL SITE CONDITIONS, VENTY ELEVATIONS, UTILITY LOCATIONS, IRRIGATION APPROVAL, TOP SOIL, PROVIDED BY THE GENERAL CONTRACTOR AND OBSERVE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE DONE. NOTIFY THE GENERAL CONTRACTOR OF ANY UNSATISFACTORY CONDITIONS, AND WORK SHALL NOT PROCEED UNTIL SUCH CONDITIONS HAVE BEEN CORRECTED AND ARE ACCEPTABLE TO THE LANDSCAPE CONTRACTOR.

PREPARATION
PLANTING SHALL BE PERFORMED ONLY BY EXPERIENCED WORKMEN FAMILIAR WITH PLANTING PROCEDURES UNDER THE SUPERVISION OF A QUALIFIED SUPERVISOR.

LOCATE PLANTS AS INDICATED ON THE PLANS OR AS APPROVED IN THE FIELD AFTER STAMING BY THE LANDSCAPE CONTRACTOR. IF OBSTRUCTIONS ARE ENCOUNTERED THAT ARE NOT SHOWN ON THE DRAWINGS, DO NOT PROCEED WITH PLANTING OPERATIONS UNTIL ALTERNATE PLANT LOCATIONS HAVE BEEN SELECTED AND APPROVED BY THE LANDSCAPE ARCHITECT. SPACING OF PLANT MATERIAL SHALL BE AS SHOWN ON THE LANDSCAPE PLAN.

EXCAVATE CIRCULAR PLANT PITS WITH VERTICAL SIDES, EXCEPT FOR PLANTS SPECIFICALLY INDICATED TO BE PLANTED IN BEDS. PROVIDE SHRUB PITS AT LEAST 1" GREATER THAN THE DIAMETER OF THE ROOT SYSTEM AND 2" GREATER FOR TREES. DEPTH OF PITS SHALL ACCOMMODATE THE ROOT SYSTEM, PROVIDE UNDISTURBED SUB GRADE TO HOLD ROOT BALL AT NURSERY GRADE AS SHOWN ON THE DRAWINGS.

INSTALLATION
SET PLANT MATERIAL IN THE PLANTING PIT TO PROPER GRADE AND ALIGNMENT. SET PLANTS UPRIGHT, PLUMB, AND FIRM. PLANTS SHALL BE PLANTED WITH THE CORRECT ADJACENT STRUCTURE. SET PLANT MATERIAL 2"-3" ABOVE THE FINISH GRADE, NO FILLING WILL BE PERMITTED AROUND TRUNKS OR STEMS. BACKFILL WITH SOIL, NOT FRESH BARK, IN A MANNER ACCEPTABLE TO THE LANDSCAPE ARCHITECT. WATER THE SOIL AROUND THE EDGE OF EACH PLANTING PIT TO RETAIN WATER.

AFTER BALLED AND WRAPPED IN BURLAP PLANTS ARE SET, MUDDLE PLANTING SOIL, MIXTURE AROUND BASES OF BALLS AND FILL ALL Voids.
1. REMOVE ALL BURLAP, ROPES, AND WIRES FROM THE TOP 18" OF THE ROOT BALL.

SPACE GROUND COVER PLANTS IN ACCORDANCE WITH INDICATED DIMENSIONS. ADJUST SPACING AS NECESSARY TO EVENLY FILL PLANTING BED WITH INDICATED QUANTITY OF PLANTS. PLANT TO WITHIN 24" OF THE TRUNKS OF TREES AND SHRUBS WITHIN PLANTING BED AND TO WITHIN 18" OF EDGE OF BED.

SOO
SOO VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
2. LAY SOO WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
3. LAY THE SOO TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOO STRIPS.
4. DO NOT OVERLAP. STAGGER STRIPS TO FIT BETWEEN ADJACENT COURES.
5. ROLL THE SOO TO ENSURE GOOD CONTACT OF THE SOO'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.
6. WATER THE SOO THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOO, BELOW THE SOO.

MULCHING
1. MULCH TREE AND SHRUB PLANTING PITS AND SHRUB BEDS WITH REQUIRED MULCHING MATERIAL. (SEE LANDSCAPE PLAN FOR MULCH TYPE). DEPTH OF MULCH AS NOTED ABOVE. HOLD MULCH BACK 4" AWAY FROM TREE TRUNKS AND SHRUB STEMS. THOROUGHLY WATER MULCHED AREAS AFTER WATERING. RAKE MULCH TO PROVIDE A UNIFORM FINISHED SURFACE.

PRUNING
1. PRUNE DECIDUOUS TREES AND EVERGREENS ONLY TO REMOVE BROKEN OR DAMAGED BRANCHES.

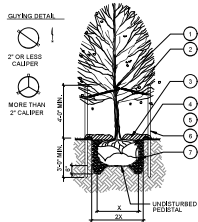
WORKMANSHIP
DURING LANDSCAPE/IRRIGATION INSTALLATION OPERATIONS, ALL AREAS SHALL BE KEPT NEAT AND CLEAN. PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE TO EXISTING STRUCTURES. ALL WORK SHALL BE PERFORMED IN A SAFE MANNER TO THE OPERATORS, THE OCCUPANTS AND ANY PEDESTRIANS.

UPON COMPLETION OF INSTALLATION OPERATIONS, ALL EXCESS MATERIALS, EQUIPMENT, DEBRIS AND WASTE MATERIAL, SHALL BE CLEANED UP AND REMOVED FROM THE SITE. UNLESS PROVISIONS HAVE BEEN GRANTED BY THE OWNER TO USE CRACKS, TRASH RECEPTACLES, STREET PARKING AND BRACKS CLEAN OF DIRT AND DEBRIS. REMOVE ALL PLANT TAGS AND OTHER DEBRIS FROM LAWNS AND PLANTING AREAS.

ANY DAMAGE TO THE LANDSCAPE, THE STRUCTURE, OR THE IRRIGATION SYSTEM CAUSED BY THE LANDSCAPE CONTRACTOR SHALL BE REPAIRED BY THE LANDSCAPE CONTRACTOR WITHOUT CHARGE TO THE OWNER.

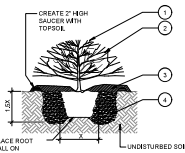
MAINTENANCE
CONTRACTOR SHALL PROVIDE MAINTENANCE UNTIL WORK HAS BEEN ACCEPTED BY THE OWNER'S REPRESENTATIVE.

1. MAINTENANCE SHALL INCLUDE MOWING, FERTILIZING, MULCHING, PRUNING, CULTIVATING, WEEDING, WATERING, AND APPLICATION OF APPROPRIATE INSECTICIDES AND FUNGICIDES NECESSARY TO MAINTAIN PLANTS AND LAWNS FREE OF INSECTS AND DISEASES.
2. REPAIR ORY WIPES AND STAKES AS REQUIRED. REMOVE ALL STAKES AND ORY WIPES AFTER 1 YEAR.
3. CORRECT DEFECTIVE WORK AS SOON AS POSSIBLE AFTER DEFICIENCIES BECOME APPARENT AND WEATHER AND SEASON PERMIT.
4. WATER TREES, PLANTS AND GROUND COVER BEDS WITHIN THE FIRST 24 HOURS OF INITIAL PLANTING, AND NOT LESS THAN TWICE PER WEEK UNTIL FINAL ACCEPTANCE.



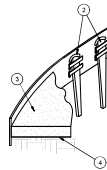
1 TREE PLANTING DETAIL

N.T.S.



2 CONTAINER SHRUB PLANTING DETAIL

N.T.S.



1. ROLLED-OUT STEEL EDGING PER PLANS.
2. TAMPED FIRM, STABLE.
3. MULCH, TYPE AND DEPTH PER PLANS.
4. FINISH GRADE.

NOTES:
1) INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED.
2) BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE.
3) TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.

3 STEEL EDGING DETAIL

N.T.S.

DECIDUOUS TREE PLANTING LEGEND

SYMBOL	DESCRIPTION
1	TREE PLANT LOCATED AT TREE BOUNDARY, USE RUBBER HOSE OR APPROXIMATE EQUAL TO 12 GAUGE GALVANIZED WIRE 8-1/2 PVC PIPE
2	ORANGE MULCH OR SPREADER, 12" DEEP, DO NOT PLACE MULCH AGAINST TREE TRUNK
3	RUBBER HOSE OR APPROXIMATE EQUAL TO 12 GAUGE GALVANIZED WIRE 8-1/2 PVC PIPE
4	IF BARK IS FROM TOP OF ROOT BALL, TREE DANCER FORMED BY WRAP IT, THEN MULCH
5	IF BARK IS FROM TREE, TREE STAKE, WRAP STAKE PLUMB AND SECURED
6	PREPARED BACKFILL CAMP TO PREVENT SETTLEMENT, SOAK BACKFILL AFTER PLANTING

PLANTING NOTES

- A. RETAIN NATURAL SHAPE, DO NOT SHEAR OR CUT CENTRAL LEADER. THREE WITH CENTRAL LEADERS ARE NOT ACCEPTED IF LEADER IS DAMAGED OR REMOVED.
- B. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
- C. BRAD TWIGS TO TRUNK BRANCH IF PLANTED IN FALL, DO NOT WRAP IF PLANTED IN SPRING.
- D. TREES TO BE INSTALLED BY TOP OF ROOT SHALL SET WITH ADJACENT GRADE. TREE SHALL BE PLANTED RELATION TO FINISH GRADE AS SHOWN PAVED AT NURSERY.
- E. PLACE TREE BALL ON FIRM UNDISTURBED SOIL.
- F. IF POSSIBLE MARK TREE TRUNK ON THE NORTHERN SIDE OF THE NURSERY AND PLANT TREE WITH MARK FACING NORTH.
- G. TOPSOIL, LIGHT SHALL BE AS SPECIFIED IN THE LANDSCAPE SPECIFICATIONS.

SHRUB PLANTING LEGEND

SYMBOL	DESCRIPTION
1	PRUNE BROKEN AND DAMAGED TWIGS AFTER PLANTING DO NOT PRUNE OR DAMAGE CENTRAL LEADER
2	PLACE PLANT IN VERTICAL, PLUMB POSITION, REMOVE CONTAINER AND PLANT LANE, PRIOR TO PLACING BACKFILL.
3	3" OF MULCH AS SPECIFIED, DO NOT PLACE MULCH DIRECTLY AGAINST STEAM.
4	PREPARED BACKFILL AND FERTILIZE PER IRRIGATION PLAN AND SOO. BACKFILL AFTER PLANTING, MARK PLANTER PLANTING FOR IDENTIFICATION.

PLANTING NOTES

- A. HOLE DIAMETER SHOULD BE AT LEAST TWICE THE DIAMETER OF THE SHRUB ROOT BALL. SHRUB CROWN SHOULD BE PLACED SLIGHTLY HIGHER 1/2" ABOVE THAN SURROUNDING FINISHED GRADE.
- B. SCORE ROOTBALL BY CUTTING 4" VERTICAL GROOVES 3" APART.
- C. SPACE PLANTS PER PLANTING PLAN.

GRAND SAVINGS BANK - FARMINGTON BRANCH
FARMINGTON, ARKANSAS

LANDSCAPE DETAIL AND NOTES

DATE:

damage prevention is no accident

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