



City of Farmington
354 W. Main Street
P.O. Box 150
Farmington, AR 72730
479-267-3865
479-267-3805 (fax)

PLANNING COMMISSION AGENDA

November 24, 2025

**A meeting of the Farmington Planning Commission will be held on
Monday, November 24, 2025, at 6:00 p.m. at City Hall
354 W. Main Street, Farmington, Arkansas.**

1. Roll Call
2. Approval of the minutes –October 27, 2025
3. Comments from Citizens – the Planning Commission will hear brief comments at this time from citizens. No action will be taken. All comments will be limited to three minutes per person.

1. PUBLIC HEARINGS

A. Variance – Lot Size

Property owned by: Suzanne Lentz
Property Location: 1072 S. Foster Lane
Presented by: Suzanne Lentz

B. Large Scale Development – Grand Savings Bank

Property owned by: Grand Savings Bank
Property Location: 12245 W. Highway 62
Presented by: 4iE Engineering, Inc.

**Planning Commission Meeting Minutes
October 27, 2025, at 6 PM**

1. **ROLL CALL** – The meeting was called to order by Chair Robert Mann. A quorum was present.

PRESENT

Robert Mann, Chair
Gerry Harris, Vice Chair
Howard Carter
Ryan Crawford
Matt Hutcherson
Norm Toering
Bobby Wilson

ABSENT: Norm Toering, Chad Ball

City Employees Present: Melissa McCarville, City Business Manager; Jay Moore, City Attorney; Chris Brackett, City Engineer; Rick Bramall, Building Official, Bill Hellard, Fire Chief; LeAnn Tolleson, City Administrative Assistant.

2. **Approval of Minutes:** September 22, 2025, minutes were unanimously approved.

3. **Comments from Citizens: None**

Public Hearings

1A. Future Land Use Plan

Courtney McNair Urban Planner with Garver stated she has been working with the Planning Commission for a few months to get the Future Land Use Plan map updated to move forward with the commercial zoning category that we have been working on as well. What we have are changes to the Future Land Use map and some additional categories we've added. All the changes exist in the existing commercial corridor and definitions have been passed out multiple times. At the last work session, we discussed the difference between Future Land Use and zoning. The Future Land Use is a guideline, a tool that the Planning Commission can use in the future when making zoning decisions, it is not a legal document.

Chairman Robert Mann acknowledged that there had been areas of uncertainty and lack of clarity, but he commended Ms. McNair for effectively addressing and clarifying those issues.

Comments from Citizens: NONE

Vice Chair Gerry Harris asked Ms. McNair to look at the map she had and stated there was no explanation and asked if that was what was discussed at the work session. Ms. McNair answered the map that Gerry had was an old map and not the correct one.

Chairman, Robert Mann called for the Land Use Plan to be forwarded to the City Council as presented. Upon roll call vote, passed unanimously.

City Business Manager Melissa McCarville stated this will be on November 10, 2025, City Council agenda. This will be an adopted resolution; it's not a law it's a guideline for Planning Commissioners to use.

City Attorney Jay Moore set a public hearing for November 24, 2025, for city attorney ordinances for legislative changes. Ryan Crawford made a motion, Bobby Wilson seconded the motion, and it was approved unanimously.

Adjournment: Having no further business, motion was made and seconded to adjourn; it was approved unanimously, and meeting was adjourned.

Gerry Harris, Vice-Chair

Robert Mann, Chair

City of Farmington, Arkansas

Application for Variance/Waiver



Please fill out this form completely, supply all necessary information to support your request. Your application will not be placed on the agenda for Planning Commission/Board of Adjustment until all information is furnished.

Applicant: Suzanne Lentz Day Phone: _____

Address: _____ Fax: _____

Representative: _____ Day Phone: _____

Address: _____ Fax: _____

Property Owner: Suzanne Lentz Day Phone: 479-426-6505

Address: 1072 S. Foster Lane Fax: _____

Indicate where correspondence should be sent (circle one): Applicant — Representative — Owner

Describe Proposed Property In Detail (Attach additional pages if 2 acres: 1 w/ house, 1 vacant
see Exhibit A)

Property Description

Site Address -

Current Zoning -- A-1

1072 S Foster Lane

Attach legal description and site plan (a scaled drawing of the property showing accurate lot lines, surrounding zoning, adjacent owners and a north arrow is required.) Attach photos if they are helpful in describing your request.

Type of variance requested and reason for request: Keep in mind the Planning

Commission considers a variance from the literal provisions of the zoning ordinances in an instance where strict enforcement of the zoning ordinances would cause undue hardship due to circumstances unique to the individual property under consideration and grant such variances only when it is demonstrated that such action will be in keeping with the spirit and intent of the provisions of the zoning ordinance. Please outline what hardship would be caused if your variance is not considered favorably:

I currently own a 2 acre parcel in Farmington. I would like to divide my lot into 2 1-acre lots so I can sell the vacant acre to provide income for myself. I am a single senior citizen, and do not want to be dependent on government assistance. Dividing my land and selling the vacant acre will be a significant help for me. I will continue to live on the other acre.

Responsibilities of the Applicant:

1. Complete application and pay a \$25.00 application fee.
2. Provide a copy of the deed for the property. If the property is rented, provide written permission from the owner that the variance is allowable.
3. Written authorization from the property owner if someone other than the owners will be representing the request.
4. Publish the following notice in a newspaper of general circulation in the City no later than 15 days prior to the meeting. A copy of the proof of publication from the newspaper must be

Proof that the property has access to water: (In lieu of these signatures copies of approvals may be submitted).

Approved for water: Planning to put in a well (city water not available due to
City of Fayetteville/Washington Water Authority 5 taps on current 2" line)

Applicant acknowledges that there are no guarantees that septic system permits will be approved on any parcel, existing or newly created. In addition, owner(s) should ensure that the septic system serving an existing house remains fully contained within the new lot boundaries.

Applicant Signature: _____

APPLICANT/REPRESENTATIVE: I certify under penalty of perjury that the foregoing statements and answers herein made all data, information, and evidence herewith submitted are in all respects, to the best of my knowledge and belief, true and correct. I understand that submittal of incorrect or false information is grounds for invalidation of application completeness, determination, or approval. I understand that the City might not approve what I am applying for, or might set conditions on approval.

Name (printed): _____ Date: _____

Signature: _____

PROPERTY OWNER(S)/AUTHORIZED AGENT: I/we certify under penalty of perjury that I am/we are the owner(s) of the property that is the subject of this application and that I/we have read this application and consent to its filing. (If signed by the authorized agent, a letter from each property owner must be provided indicating that the agent is authorized to act on his/her behalf.)

Owners (attach additional info if necessary):

Name (printed): Suzanne Lentz

Address: 1072 S Foster Lane
Farmington, AR 72730

Signature: Suzanne Lentz

Date: 10/29/2025

Phone: (479) 426-6505

Name (printed): _____

Address: _____

Signature: _____

Date: _____

Phone: () _____

Staff Use Only

Administrative Approval:

City Business Manager _____

Date _____

Conditions: _____



Doc ID: 015653600003 Type: REL
Kind: WARRANTY DEED
Recorded: 03/27/2014 at 02:40:35 PM
Fee Amt: \$25.00 Page 1 of 3
Washington County, AR
Kyle Sylvester Circuit Clerk

File **2014-00007131**

PREPARED BY:

Matt McCain
4148 W MLK BLVD Suite 1
Fayetteville, AR 72704

RECORDING REQUESTED BY

AND WHEN RECORDED MAIL TO:

Harold W Slinkard
127595 S Hwy 265
Prairie Grove, AR 72753

MAIL TAX STATEMENTS TO:

Harold W. Slinkard
127595 S Hwy 265
Prairie Grove, AR 72753

SPACE ABOVE THIS LINE FOR RECORDER'S USE ONLY

GENERAL WARRANTY DEED

KNOW ALL MEN BY THESE PRESENTS THAT:

THIS GENERAL WARRANTY DEED, made and entered into on the 26th day of March, 2014, between Harold W Slinkard, a married person, whose address is 127595 S Hwy 265, Prairie Grove, Arkansas 72753, Wilma Jean Slinkard, a married person, whose address is 127595 S Hwy 265, Prairie Grove, Arkansas 72753, and Wilma Jean Slinkard, a married person, whose address is 127595 S Hwy 265, Prairie Grove, Arkansas 72753 ("Grantors"), and Suzanne Lentz, a single person, whose address is 303 N Summit, Prairie Grove, Arkansas 72753 ("Grantee").

For and in consideration of the sum of Ten Dollars (\$10.00) and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, Grantors hereby Grant, Bargain, Sell, and Convey with general warranty covenants to Grantee, the property located in Washington County, Arkansas, described as:

See attached "Exhibit A" for legal description

SUBJECT TO all, if any, valid easements, rights of way, covenants, conditions, reservations and restrictions of record.

Subject to existing taxes, assessments, liens, encumbrances, covenants, conditions, restrictions, rights of way and easements of record the Grantors hereby covenant with the Grantee that the Grantors are lawfully seized in fee simple of the above granted premises and has good right to sell and convey the same, and that the Grantors, Grantors' heirs, executors and administrators shall warrant and defend the title unto the Grantee, Grantee's heirs and assigns against all lawful claims whatsoever.

Tax/Parcel ID Number: _____

IN WITNESS WHEREOF the Grantors have executed this deed on the 26th day of March, 20 14.

3-26-14
Date

Harold W Slinkard
Harold W Slinkard, Grantor

3-26-14
Date

Wilma Jean Slinkard
Wilma Jean Slinkard, Grantor

State of Arkansas
County of Washington

On this the 26th day of March, 20 14 before me, Matt McCain, the undersigned notary, personally appeared Harold & Wilma Slinkard known to me (or satisfactorily proven) to be the person whose name is subscribed to the within instrument and acknowledged that they executed the same for the purposes therein contained.

In witness whereof I hereunto set my hand and official seal.

Matt McCain
Notary Public
My Commission expires: 2-28-16

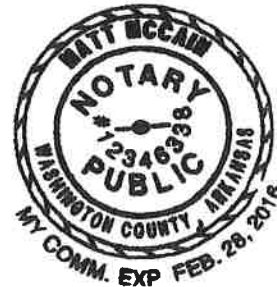


EXHIBIT A

LEGAL DESCRIPTION

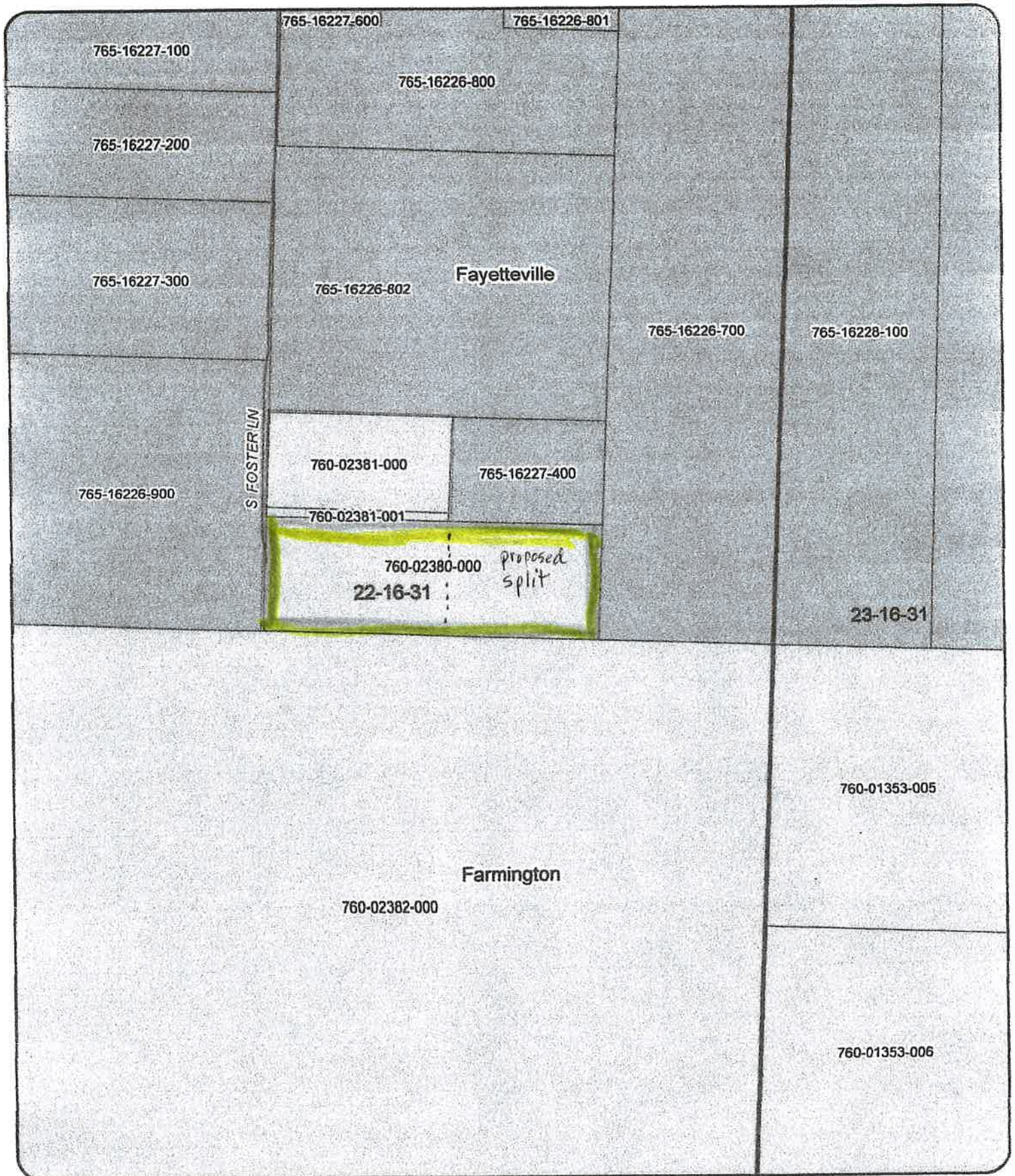
All that certain parcel of land situated in the City of Farmington, County of Washington and State of Arkansas bounded and described as follows:

A part of the Northeast Quarter (NE $\frac{1}{4}$) of the Northeast Quarter (NE $\frac{1}{4}$) of Section Twenty-Two (22), Township Sixteen (16) North, Range Thirty-One (31) West, and being more particularly described as follows to-wit:

Beginning at a point which is 528 feet East and 990 feet South of the Northwest corner of said Forty acre tract, and running, thence East 528 feet; thence South 330 feet; thence West 528 feet; thence North 330 feet to the point of beginning. The West 15 feet hereof is subject to a roadway easement as set forth in that easement, dated January 14, 1982 and recorded in Book 1053 at Page 425. Also all right title and interest in and to a roadway easement as set forth in that easement, dated January 14, 1982 and recorded in Book 1053, Page 428, and described as follows to-wit: Beginning at a point which is 528 feet East of the Northwest corner of the Northeast quarter (NE $\frac{1}{4}$) of the Northeast Quarter (NE $\frac{1}{4}$) of Section 22, Township 16 North, Range 31 West and running, thence West 14 feet; thence South 1320 feet to the South line of said 40 acre tract; thence East 15 feet, thence North 1320 feet to the Point of Beginning.

LESS AND EXCEPT: A part of the Northeast quarter (NE $\frac{1}{4}$) of the Northeast quarter (NE $\frac{1}{4}$) of Section Twenty-Two (22) Township Sixteen (16) North, Range Thirty-One (31) West, and being more particularly described as follows, to-wit: Beginning at a point which is 528 feet East and 990 feet South of the North West corner of said forty acre tract and running thence East 528 feet; thence South 165 feet; thence West 528 feet; thence North 165 feet to the point of beginning.

The West 15 feet hereof is subject to a Roadway Easement as set forth in that Easement, dated January 14, 1982 and recorded in Book 1053 at page 425. ALSO rights of Ingress and Egress over and across a roadway easement dated January 14, 1982 and recorded in Book 1053 at page 427, and described as follow, to-wit: Beginning at a point which is 528 feet East of the Northwest corner of the Northeast Quarter (NE $\frac{1}{4}$) of the Northeast Quarter (NE $\frac{1}{4}$) of Section 22, Township 16 North, Range 31 West and running thence West 15 feet; thence South 1320 feet to the South line of said 40 acre tract; thence East 15 feet; thence North 1320 feet to the point of beginning.



County Disclaimer: These maps were created by Washington County using data created or acquired by its Assessor's office, Dept. of Emergency Management, and Road Department and in accordance with Arkansas Code 15-21-502 (2) (B), which states "The digital cadastre manages and provides access to cadastral information. Digital cadastre does not represent legal property boundary descriptions, nor is it suitable for boundary determination of the individual parcels included in the cadastre," and Arkansas Code 15-21-502 (6) which indicates that "Digital cadastre" means the storage and manipulation of computerized representations of parcel maps and linked databases." These maps have been developed from the best available sources. No guarantee of accuracy is granted, nor is any responsibility for reliance thereon assumed. In no event shall said Washington County be liable for direct, indirect, incidental, consequential or special damages of any kind, including but not limited to, loss of

NT



Copyright Text: Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community

$$Z$$




Farmington, Arkansas City Map



Q 1072 Foster Ln, Farmington, AR, 72730, USA

Search result

W Dot Tipton Rd

R-1

A-1

R-1

W Sellers Rd

R-1

A-1

R-1

MF-2

R-2

Zoning: A-1

Zoom to

new zone

A-1

ord

date

old zone

Scanned

Shape__Area

62,645,448.62

Goose Creek Rd
Goose Creek

Amber Ln

Pete Lee Rd

Rheas Mill Rd

Little Elm Rd

Williams Rd

Patt



WASHINGTON COUNTY
ENTERPRISE-LEADER

Account #: STCH124

Company: CATHERINE HARRISON
3265 W Mount Comfort Rd
Fayetteville, AR 72704-5721

Ad number #: 551550

PO #:

Matter of: Meeting Nov 24 Zoning/ Lot Size

AFFIDAVIT • STATE OF ARKANSAS

I, Maria Hernandez-Lopez, do solemnly swear that I am the Legal Clerk of the **Washington County Enterprise Leader**, a daily newspaper printed and published in WASHINGTON county, State of ARKANSAS; that I was so related to this publication at and during the publication of the annexed legal advertisement in the matter of :

Meeting Nov 24 Zoning/ Lot Size

Pending in the court, in said County, and at the dates of the several publications of said advertisement stated below, and that during said periods and at said dates, said newspaper was printed and had a bona fide circulation in said County, that said newspaper had been regularly printed and published in said county, and had a bona fide circulation therein for the period of one month before the date of the first publication of said advertisement; and that said advertisement was published in the regular daily issues of said newspaper as stated below.

And that there is due or has been paid the **Washington County Enterprise Leader** for publication the sum of \$190.44. (Includes \$0.00 Affidavit Charge).

NWA nwaonline.com 11/05/25; NWA Washington County 11/05/25

Maria Hernandez-Lopez
Legal Clerk

State of ARKANSAS, County of Sebastian

Subscribed and sworn to before me on this 5th day of November, 2025

D. Brasher
NOTARY PUBLIC



NOTICE OF PUBLIC MEETING

A petition for a variance at the property described below has been filed with the City of Farmington on the 29th day of October, 2025.

PLACE LEGAL DESCRIPTION HERE AND DESCRIPTION OF THE VARIANCE HERE

EXHIBIT A

LEGAL DESCRIPTION

All that certain parcel of land situated in the City of Farmington, County of Washington and State of Arkansas bounded and described as follows:

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A public meeting to consider this request for a zoning/ lot size variance at the above described property will be held on 24th day of November, 2025, at 6:00 p.m. at Farmington City Hall, 354 West Main, Farmington, Arkansas. All interested persons are invited to attend.

Suzanne Lentz

November 5, 2025 551550

City of Farmington Application and Checklist Large Scale Development

Please fill out this form completely, supply all necessary information to support your request. Your application will not be placed on the agenda for Technical Plat Review or Planning Commission until all information is furnished.

Applicant: Grand Savings Bank Day Phone: 479-715-6622
 Address: 3401 SW 2nd Street, Suite 115
Bentonville, AR 72712 Fax: gcable@grandsavingsbank.com

Representative: 4iE Engineering, Inc. Day Phone: 479-381-1066
 Address: P.O. Box 56
Cave Springs, AR 72718 Fax: ffourie@4ie.engineering

Property Owner: Grand Savings Bank Day Phone: 479-715-6622
 Address: 3401 SW 2nd Street, Suite 115
Bentonville, AR 72712 Fax: gcable@grandsavingsbank.com

Indicate where correspondence should be sent (circle one): Applicant ☐ Representative ☒ Owner ☐

Fee: A non-refundable review fee of **\$500** is required at the time the application is accepted. *In the event engineering review fees and costs exceed \$500, the owners and/or developers shall reimburse the City of Farmington for all additional expenses incurred prior to review by the Farmington Planning Commission. In the event the Farmington Planning Commission requires modifications to the large scale development and additional engineering fees and costs are incurred, the owners and/or developers shall reimburse the City of Farmington before the large scale development is resubmitted to the Farmington Planning Commission.*

For office use only:

Fee paid \$ _____ **Date** _____ **Receipt #** _____

Describe Proposed Property In Detail (Attach additional pages if necessary)

Property Description

Site Address -- 12245 W. Highway 62

Current Zoning -- R-O

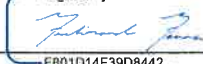
Attach legal description

Financial Interests

The following entities or people have a financial interest in this project:

Applicant/Representative: *I certify under penalty of perjury that the foregoing statements and answers herein made, all data, information and evidence herewith submitted are in all respects, to the best of my knowledge and belief, true and correct. I understand that submittal of incomplete, incorrect or false information is grounds for invalidation of the application. I understand that the City of Farmington may not approve my application or may set conditions on approval.*

Signed by:



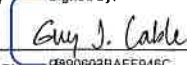
Date 10/21/2025

Applicant Signature

FB01D14F39D8442

Property Owner/Authorized Agent: *I certify under penalty of perjury that I am the owner of the property that is the subject of this application and that I have read this application and consent to its filing. (If signed by the authorized agent, a letter from the property owner must be provided indicating that the agent is authorized to act on his behalf.)*

Signed by:



Date 10/21/2025

Owner/Agent Signature

0890003BAFF946C

LSD/Subdivision Application Checklist:

Yes No N/A, why?

1. Completed application form which includes: name and address of person preparing application, name and address of property owner, including written, notarized documentation to verify that the applicant has permission to locate on property, zoning district, size of property, postal address and tax parcel number.	X		
2. Payment of application fee.	X		
3. A descriptive statement of the objective(s) for the new facility or material modification and the need for the type of facility and/or capacity requirements.	X		
4. Fifteen (15) copies of the site plan folded to a size of no greater than 10" X 10 ½ ".			
5. List of adjacent property owners and copy of notification letter sent. *		X	To be completed with notifications
6. White receipts from post office and green cards from registered letters (at least 7 days prior to the meeting).		X	To be completed with notifications
7. Proof of publication of public hearing notice, should be published a minimum of 10 days prior to planning commission meeting (proof must be provided at least 7 days prior to the meeting).		X	To be completed with notifications
The Following Shall Appear on the Site Plan:			
1. Names, addresses and telephone numbers of the record owners, applicant, surveyor, architect, engineer and person preparing the plat.	X		
2. Names, addresses and property lines and zoning of all property owners adjacent to the exterior boundaries of the project including across streets and rights of way shall be located at the general location of their property.*	X		
3. North arrow, graphic scale, acreage, date of preparation, zoning classification and proposed use.	X		
4. Complete and accurate legend.	X		
5. Title block located in the lower right hand corner indicating the name and type of project, scale, firm or individual preparing drawings, date and revision.	X		
6. Note regarding wetlands determination, if any. Note if Army Corps of Engineers determination is in progress.		X	No wetlands exist on this site
7. Written legal description. (If the project is in more than one tract the legal for each individual tract must be provided.)	X		
8. P.O.B. from a permanent well-defined reference point, P.O.B. must be clearly labeled.	X		
9. Clear representation of the FEMA Designated 100-year Floodplain and or Floodway and base flood elevations. Reference the FIRM panel number and effective date and the Corps of Engineers Flood Hazard Study.		X	No regulatory flood plain
10. Status of regulatory permits:			
a. NPDES Storm water Permit	Small	Site-	Issued at construction
b. 404 Permit	No	required	
c. Other			
11. Provide a benchmark, clearly defined with a precision of 1/100 th of a foot. This benchmark must be tied to NAVD 88 datum; Benchmarks include but are not limited to, the following: fire hydrant, manhole rim, drainage structure	X		

abutment, etc.			
12. Spot elevations at grade breaks along the flow line of drainage swales.	X		
13. A general vicinity map of the project at a scale of 1" = 2000'	X		
14. The location of all existing structures. Dimensions of buildings and setbacks from the building to property lines.	X		
15. Street right-of-way lines clearly labeled. The drawing shall depict any future ROW needs as determined by the AHTD and/or Master Street Plan. Future ROW as well as existing ROW and center lines should be shown and dimensioned.	X		
16. Existing topographic information with source of the information noted. Show:			
a. Two foot contour for ground slope between level and ten percent.	X		
b. Four foot contour interval for ground slope exceeding 10%.	X		
17. Preliminary grading plan.	X		
Existing Utilities and Drainage Improvements (Copy of the <u>Drainage Criteria Manual</u> can be obtained from the City of Farmington)			
1. Show all known on site and off-site existing utilities, drainage improvements and easements (dimensioned) and provide the structures, locations, types and condition and note them as "existing" on the plat.	X		
2. Existing easements shall show the name of the easement holder, purpose of the easement, and book and page number for the easement. If an easement is blanket or indeterminate in nature, a note to this effect should be placed on the plan.	X		
Proposed Utilities			
1. Regarding all proposed storm sewer structures and drainage structures:			
a. Provide structure location and types.	X		
b. Provide pipe types and sizes.	X		
2. Regarding all proposed sanitary sewer systems			
a. Provide pipe locations, sizes and types.	X		Septic sewer proposed
b. Manhole locations.	X		
3. Note the occurrence of any previous sanitary sewer overflow problems on-site or in the proximity of the site	X		No known issues
4. If a septic system is to be utilized, note that on the plat. Show the location and test data for all percolation tests.	X		
5. Regarding all proposed water systems on or near the site:			
a. Provide pipe locations, sizes and types.	X		
b. Note the static pressure and flow of the nearest hydrant.		X	To be completed
c. Show the location of proposed fire hydrants, meters, valves, backflow preventers and related appurtenances.	X		
6. All proposed underground or surface utility lines if determined: (this category includes but is not limited to telephone, electrical, natural gas and cable.)	X		
a. Locations of all related structures.	X		
b. Locations of all lines above and below ground.	X		
c. A note shall be placed where streets will be placed under the existing overhead facilities and the		X	N/A

approximate change in the grade for the proposed street.			
7. The width, approximate locations and purposes of all proposed easements or rights-of-way for utilities, drainage, sewers, flood control, ingress/egress or other public purposes within and adjacent to the project.	X		
Proposed and Existing Streets, Rights-of –way and Easements			
1. The location, widths and names (avoid using first names of people for new streets) of all exiting and proposed streets, allies, paths and other rights-of-way, whether public or private within and adjacent to the project; private easements within and adjacent to the project; and the centerline curve data; and all curb return radii. Private streets shall be clearly identified and named.		N/A	
2. A layout of adjoining property sufficient detail to show the affect of proposed and existing streets (including those on the master street plan), adjoining lots and off-site easements. This information can be obtained from the Master Street Plan.		N/A	
3. The location of all existing and proposed street lights (at every intersection, cul-de-sac and every 300 feet, and associated easements to serve each light.)		N/A	
Site Specific Information			
1. Provide a note describing any off site improvements.		N/A	
2. The location of known existing or abandoned water wells, sumps, cesspools, springs, water impoundments and underground structures within the project.		N/A	
3. The location of known existing or proposed ground leases or access agreements, if known. (e.g. shared parking lots, drives, areas of land that will be leased.)		N/A	
4. The location of all known potentially dangerous areas, including areas subject to flooding, slope stability, settlement, excessive noise, previously filled areas and the means of mitigating the hazards (abatement wall, signage, etc.)		N/A	
5. The boundaries, acreage and use of existing and proposed public area in and adjacent to the project. If land is to be offered for dedication for park and recreation purposes it shall be designated.		N/A	
6. For large scale residential development, indicate the use and list in a table the number of units and bedrooms.		N/A	
7. For non-residential use, indicate the gross floor area and if for multiple uses, the floor area devoted to each type of use. (Large Scale Developments only.)	X		
8. The location and size of existing and proposed signs, if any.	X		
9. Location and width of curb cuts and driveways. Dimension all driveways and curb cuts from side property line and surrounding intersections.	X		
10. Location, size, surfacing, landscaping and arrangement of parking and loading areas. Indicate pattern of traffic flow; include a table showing required, provided and handicapped accessible parking spaces. (Large Scale Developments only.)	X		
11. Location of buffer strips, fences or screen walls, where required (check the zoning ordinance).	X		
12. Location of existing and purposed sidewalks.	X		
13. Finished floor elevation of existing and purposed structures.	X		
14. Indicate location and type of garbage service (Large Scale	X		

Developments only.) Dimension turnaround area at dumpster location.			
15. A description of commonly held areas, if applicable.	X		
16. Draft of covenants, conditions and restrictions, if any.		X	
17. Draft POA agreements, if any.		X	
18. A written description of requested variances and waivers from any city requirements.		X	None anticipated
19. Show required building setbacks for large scale developments. Provide a note on the plat of the current setback requirements for the subdivision. A variance is necessary from the Board of Adjustment for proposed setbacks less than those set forth in the zoning district.	X		
20. Preliminary drainage plan as required by the consulting engineer.	X		

**All applicants submitting preliminary plats and Large Scale Developments before the Farmington Planning Commission shall provide written notice of the time and place of the regular or special meeting to the owners of all real property adjacent to the project. The notice shall include the name and address of the applicant, location of the project, and the time and place of the scheduled meeting. Notices shall be sent by certified mail, return receipt requested, to the last known address shown on the most recent tax records at the Washington County Tax Collector's Office. (A sample notification and affidavit is attached.) Applicants must submit a verified affidavit attesting to the delivery of the notice to all owners of real property adjacent to the project, a copy of the notice to each property owner, and copies of receipts evidencing pre-paid postage for each notice. The affidavit and supporting documents referred to above must be submitted seven (7) days prior to the regular or special meeting of the planning commission.*

File# 2025-00026772

**WARRANTY DEED
(INDIVIDUAL)**

KNOW ALL MEN BY THESE PRESENTS:

That **Slow Dime Properties, Inc.**, by it's **Secretary, Kerry Workman**, hereinafter called the GRANTOR, whether one or more, for and in consideration of the sum of Ten Dollars and No Cents (\$10.00) and other good and valuable consideration paid by **Grand Savings Bank, an Oklahoma Banking Corporation**, the receipt of which is hereby acknowledged, do hereby grant, bargain, sell and convey unto **Grand Savings Bank, an Oklahoma Banking Corporation**, hereinafter called GRANTEE, whether one or more, and unto GRANTEE'S heirs and assigns forever, the following described property situate in the County of Washington, State of Arkansas, to-wit:

Lot 128 of Twin Falls Addition, Phase III, being a replat of Tract 1B, Twin Falls Addition, Phase I and part of the SW 1/4 of the SW 1/4 and part of the SE 1/4 of the SW 1/4, all in Section 27, Township 16 North, Range 31 West, City of Farmington, Washington County, Arkansas, as per plat on file in Plat Book 24A at Page 143.

Subject to easements, right-of-way, covenants and restrictions of record, and prior mineral reservations, if any.

TO HAVE AND TO HOLD The same unto the GRANTEE and unto GRANTEE'S heirs and assigns forever, with all appurtenances thereunto belonging. And GRANTOR hereby covenants with GRANTEE that GRANTOR will forever warrant and defend the title to the property against all lawful claims whatsoever.

And GRANTOR, for said consideration release and relinquish unto said GRANTEE all GRANTOR'S right of curtesy, dower, and homestead to the said lands.

WITNESS GRANTOR'S hand this 24th day of September, 2025.

SLOW DIME PROPERTIES, INC


Kerry Workman
Secretary

PREPARED UNDER THE SUPERVISION OF:
Gregory A Thuman, PA
41 Kings Highway / PO DRAWER 190
Eureka Springs, AR 72632

ACKNOWLEDGMENT

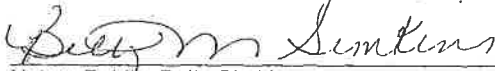
State of Arkansas

SS.

County of Carroll

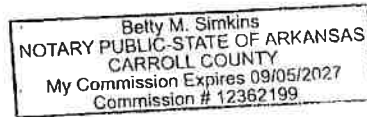
On this 24th day of September, 2025 before me, Betty Simkins, a Notary Public, appeared the within named, **Slow Dime Properties, Inc., by it's Secretary, Kerry Workman** to me personally well known (or satisfactorily proven to be such person), who stated and acknowledged that he had so signed, executed and delivered said foregoing instrument for the consideration, uses and purposes therein mentioned and set forth.

IN TESTIMONY WHEREOF, I have hereunto set my hand and official seal on this 24th day of September, 2025.



Notary Public Betty Simkins

My Commission Expires: Sept 5, 2027



Prepared under the supervision of:

Gregory A. Thurman, P.A.
41 Kings Highway/P.O. Drawer 190
Eureka Springs, AR 72632

I certify under penalty of false swearing
that at least the legally correct amount of
documentary stamps have been placed
on this instrument.

Grantee/Agent

Grantee's Address



STATE OF ARKANSAS
DEPARTMENT OF FINANCE AND ADMINISTRATION
MISCELLANEOUS TAX SECTION
P.O. BOX 896, LITTLE ROCK, AR 72203-0896

04-0047381-0012-40-0396

Real Estate Transfer Tax Stamp

Proof of Tax Paid



File Number: 25-F090

Grantee: GRAND SAVINGS BANK, AN OKLAHOMA BANKING CORPORATION
Mailing Address: PO BOX 451809
GROVE OK 743451809

Grantor: SLOW DIME PROPERTIES, INC
Mailing Address: 1996 21ST AVE
SAN FRANCISCO CA 941161205

Property Purchase Price: \$365,000.00
Tax Amount: \$1,204.50

County: WASHINGTON
Date Issued: 09/25/2025
Stamp ID: 2143896576

Washington County, AR
I certify this instrument was filed on
9/26/2025 8:52:02 AM
and recorded in REAL ESTATE

File# 2025-00026772
Kyle Sylvester - Circuit Clerk

I certify under penalty of false swearing that documentary stamps or a documentary symbol in the legally correct amount has been placed on this instrument

Grantee or Agent Name (printed): KINGS RIVER TITLE

Grantee or Agent Name (signature): Monica [Signature] Date: 9/25/25

Address: PO BOX 1444

City/State/Zip: Huntsville AR 72740

Water & Environmental Testing of NWA

PO Box 790
West Fork, Arkansas 72774
479-466-6117

Dave Hodges
12245 W Hwy 62
Parcel# 760-03871-000
Farmington, Arkansas

January 05, 2023

An inspection of the soil on the property above was performed to determine if the soil was suitable for a Standard Septic System. The pit yielded an Adjusted Moderate Seasonal Water Table at 27" for a Loading Rate of 0.68Gal/Sqft. This would be suitable for Standard Septic system. A 3 bedroom house would need 272ft of Lateral line. A four Bdrm would require 330' of Lateral Line.

All parts of the septic system must stay out of utility easements and 10' from any utility lines underground; 15' from overhead electric lines. All parts of the Septic System must be 50' from any wet weather creeks or ponds on property and 100' from any wells and ponds off the property and 100' from named creeks

An Onsite Septic System Permit Application should be submitted to the Local Health Unit for approval before construction begins. Please call me to design the system onsite once the house has been staked onsite. If you have any questions, call 479-466-6117.

Sincerely,



Linda Mayo Tillery, Designated Representative
Water Operator D-IV, T-I
Wastewater Operator III



Account #: STN4EI

Company: NWC 4IE ENGINEERING INC.

P. O. 56

Cave Springs, AR 72718

Ad number #: 553194

PO #:

Matter of: Large Scale Development, Farmington

AFFIDAVIT • STATE OF ARKANSAS

I, Maria Hernandez-Lopez, do solemnly swear that I am the Legal Clerk of the **NWA Democrat Gazette**, a daily newspaper printed and published in WASHINGTON/BENTON county, State of ARKANSAS; that I was so related to this publication at and during the publication of the annexed legal advertisement in the matter of :

Large Scale Development, Farmington

Pending in the court, in said County, and at the dates of the several publications of said advertisement stated below, and that during said periods and at said dates, said newspaper was printed and had a bona fide circulation in said County, that said newspaper had been regularly printed and published in said county, and had a bona fide circulation therein for the period of one month before the date of the first publication of said advertisement; and that said advertisement was published in the regular daily issues of said newspaper as stated below.

And that there is due or has been paid the **NWA Democrat Gazette** for publication the sum of \$167.20.
(Includes \$0.00 Affidavit Charge).

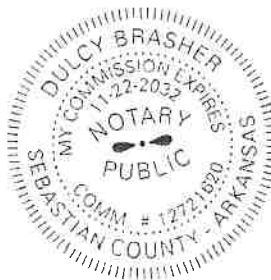
NWA Democrat Gazette 11/09/25; NWA nwaonline.com 11/09/25

Maria Hernandez-Lopez
Legal Clerk

State of ARKANSAS, County of Sebastian,

Subscribed and sworn to before me on this 10th day of November, 2025

Dulcy Brasher
NOTARY PUBLIC



A PETITION FOR LARGE-SCALE DEVELOPMENT FOR THE PROPERTY AS DESCRIBED BELOW HAS BEEN FILED WITH THE CITY OF FARMINGTON ON THE 21ST DAY OF OCTOBER, 2025.

ALL OF TRACT B AND ALL OF TRACT C OF A LOT SPLIT RECORDED IN PLAT BOOK 2017 AT PAGE 14275, WASHINGTON COUNTY, ARKANSAS. ALSO PARTICULARLY DESCRIBED AS FOLLOWS:

ALL OF LOT 128 OF THE TWIN FALLS ADDITION, PHASE III, AS RECORDED IN PLAT BOOK 24A AT PAGE 143, WASHINGTON COUNTY, ARKANSAS. ALSO DESCRIBED AS FOLLOWS:

BEGINNING AT AN IRON PIN FOUND AT THE SOUTHEAST CORNER OF SAID LOT 28; THENCE N87°52'08"W 116.73 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF JIM BROOKS ROAD; THENCE ALONG SAID EASTERLY RIGHT-OF-WAY LINE AND ALONG A CURVE TO THE LEFT HAVING A DELTA OF 62°18'59", A RADIUS OF 100.00 FEET, A LONG CHORD THAT BEARS N29°59'25"W 103.48 FEET, AN ARC DISTANCE OF 108.76 FEET; THENCE N60°52'38"W 22.18 FEET TO AN IRON PIN FOUND; THENCE DEPARTING SAID EASTERLY RIGHT-OF-WAY LINE N29°03'29"E 36.05 FEET TO AN IRON PIN FOUND; THENCE N60°59'13"W 40.02 FEET TO AN IRON PIN FOUND ON THE EASTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY 62; THENCE ALONG SAID EASTERLY RIGHT-OF-WAY LINE N31°31'53"E 137.83 FEET TO AN ALUMINUM MONUMENT FOUND; THENCE N31°12'08"E 66.06 FEET TO AN IRON PIN FOUND; THENCE DEPARTING SAID EASTERLY RIGHT-OF-WAY LINE S63°19'28"E 153.61 FEET TO AN IRON PIN FOUND; THENCE N31°42'37"E 62.90 FEET TO AN IRON PIN FOUND ON THE SOUTHERLY RIGHT-OF-WAY LINE OF W. TWIN FALLS DRIVE; THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE AND ALONG A CURVE TO THE RIGHT HAVING A DELTA OF 03°57'46", A RADIUS OF 960.00 FEET, A LONG CHORD THAT BEARS S53°53'51"E 66.38 FEET, AN ARC DISTANCE OF 66.40 FEET; THENCE DEPARTING SAID SOUTHERLY RIGHT-OF-WAY LINE S24°26'21"W 302.17 FEET TO THE POINT OF BEGINNING, CONTAINING 1.51 ACRES, MORE OR LESS. SUBJECT TO ANY EASEMENTS, COVENANTS OR RESTRICTIONS OF RECORD OR FACT.

A PUBLIC HEARING TO CONSIDER THIS LARGE-SCALE DEVELOPMENT WILL BE HELD ON THE 24TH DAY OF NOVEMBER 2025 AT SIX O'CLOCK P.M. AT FARMINGTON CITY HALL, 354 WEST MAIN, FARMINGTON, ARKANSAS. ALL INTERESTED PERSONS ARE INVITED TO ATTEND.

November 9, 2025 553194

ADJACENT OWNER SEARCH

Date: November 6, 2025

Lenders Title Company hereby certifies that the records of the Circuit Clerk of Washington County, Arkansas have been examined as to the following parcels:

760-03871-000

The following parcels, owners, and mailing addresses were found to be adjacent to the above listed tract:

760-02764-000

Twin Falls Property Owners Assoc
PO Box 596
Farmington, AR 72730

760-02763-001

John C. Everett and Mary Elizabeth Everett
PO Box 1460
Farmington, AR 72730

760-02763-002

David Torgerson and Jennifer Torgerson
504 Twin Falls Dr
Farmington, AR 72730

760-03872-000

Gregory S. Mann and Paige H. Mann
503 W Twin Falls Dr
Farmington, AR 72730-2825

760-03874-000

Marcus K. Jones and Hope Q. Jones
1635 N Cannondale Dr
Fayetteville, AR 72704-6945

760-03068-000
Daugherty_Stearman Co LLC
2745 Hidden Springs Dr
Fayetteville, AR 72703

760-03878-000
KSDA Inc.
PO Box 605
Farmington, AR 72730-0605

760-02403-700
Arkansas State Highway Commission
PO Box 2261
Little Rock, AR 72203-2261

760-03879-000
City of Farmington, Arkansas
PO Box 150
Farmington, AR 72730

760-03048-000
Goose Creek Properties LLC
496 Double Springs Rd
Farmington, AR 72730



Sincerely,
Lenders Title Company

By: Stephanie R. Eden

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

Farmington, AR 72730

Certified Mail Fee \$5.30
\$
Extra Services & Fees (check box, add fee as appropriate)
☐ Return Receipt (hardcopy) \$0.00
☐ Return Receipt (electronic) \$0.00
☐ Certified Mail Restricted Delivery \$0.00
☐ Adult Signature Required \$0.00
☐ Adult Signature Restricted Delivery \$0.00

Postmark
Here

Postage \$0.78

Total Postage and Fees
\$10.48

Sent To

David Torgerson and Jennifer
Torgerson
504 Twin Falls Drive
Farmington, AR 72730

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
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Farmington, AR 72730

Certified Mail Fee \$5.30
\$
Extra Services & Fees (check box, add fee as appropriate)
☐ Return Receipt (hardcopy) \$0.00
☐ Return Receipt (electronic) \$0.00
☐ Certified Mail Restricted Delivery \$0.00
☐ Adult Signature Required \$0.00
☐ Adult Signature Restricted Delivery \$0.00

Postmark
Here

Postage \$0.78

Total Postage and Fees
\$10.48

Sent To

John C. Everett and Mary Elizabeth
Everett
PO Box 1460
Farmington, AR 72730

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
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For delivery information, visit our website at www.usps.com®.

Fayetteville, AR 72703

Certified Mail Fee \$5.30
\$
Extra Services & Fees (check box, add fee as appropriate)
☐ Return Receipt (hardcopy) \$0.00
☐ Return Receipt (electronic) \$0.00
☐ Certified Mail Restricted Delivery \$0.00
☐ Adult Signature Required \$0.00
☐ Adult Signature Restricted Delivery \$0.00

Postmark
Here

Postage \$0.78

Total Postage and Fees
\$10.48

Sent To

Daugherty Stearman Co. LLC
2745 Hidden Springs Drive
Fayetteville, AR 72703

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
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For delivery information, visit our website at www.usps.com®.

Little Rock, AR 72203

Certified Mail Fee \$5.30
\$
Extra Services & Fees (check box, add fee as appropriate)
☐ Return Receipt (hardcopy) \$0.00
☐ Return Receipt (electronic) \$0.00
☐ Certified Mail Restricted Delivery \$0.00
☐ Adult Signature Required \$0.00
☐ Adult Signature Restricted Delivery \$0.00

Postmark
Here

Postage \$0.78

Total Postage and Fees
\$10.48

Sent To

Arkansas State Highway Commission
PO Box 2261

Little Rock, AR 72203

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
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For delivery information, visit our website at www.usps.com®.

Farmington, AR 72730

Certified Mail Fee \$5.30
\$
Extra Services & Fees (check box, add fee as appropriate)
☐ Return Receipt (hardcopy) \$0.00
☐ Return Receipt (electronic) \$0.00
☐ Certified Mail Restricted Delivery \$0.00
☐ Adult Signature Required \$0.00
☐ Adult Signature Restricted Delivery \$0.00

Postmark
Here

Postage \$0.78

Total Postage and Fees
\$10.48

Sent To

City of Farmington
PO Box 150
Farmington, AR 72730

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
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For delivery information, visit our website at www.usps.com®.

Farmington, AR 72730

Certified Mail Fee \$5.30
\$
Extra Services & Fees (check box, add fee as appropriate)
☐ Return Receipt (hardcopy) \$0.00
☐ Return Receipt (electronic) \$0.00
☐ Certified Mail Restricted Delivery \$0.00
☐ Adult Signature Required \$0.00
☐ Adult Signature Restricted Delivery \$0.00

Postmark
Here

Postage \$0.78

Total Postage and Fees
\$10.48

Sent To

Goose Creek Properties, LLC
496 Double Springs Road
Farmington, AR 72730

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

9589 0720 5270 1439 4348 83

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT

Domestic Mail Only

For delivery information, visit our website at www.usps.com™.

Fayetteville, AR 72704

Certified Mail Fee	\$5.30
Extra Services & Fees (check box, add fee as appropriate)	\$4.40
☐ Return Receipt (hardcopy)	\$0.00
☐ Return Receipt (electronic)	\$0.00
☐ Certified Mail Restricted Delivery	\$0.00
☐ Adult Signature Required	\$0.00
☐ Adult Signature Restricted Delivery	\$0.00
Postage	\$0.78
Total Postage and Fees	\$10.48

0718
05Postmark
Here

11/07/2025

Sent To
 Street and Apt. No., or PO Box No.
 Marcus K. Jones and Hope Q. Jones
 1635 N. Cannondale Drive
 City, State, ZIP+4®
 Fayetteville, AR 72704

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

9589 0720 5270 1439 4348 45

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT

Domestic Mail Only

For delivery information, visit our website at www.usps.com™.

Farmington, AR 72730

Certified Mail Fee	\$5.30
Extra Services & Fees (check box, add fee as appropriate)	\$4.40
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☐ Return Receipt (electronic)	\$0.00
☐ Certified Mail Restricted Delivery	\$0.00
☐ Adult Signature Required	\$0.00
☐ Adult Signature Restricted Delivery	\$0.00
Postage	\$0.78
Total Postage and Fees	\$10.48

0718
05Postmark
Here

11/07/2025

Sent To
 Street and Apt. No., or PO Box No.
 Twin Falls Property Owners Assoc
 PO Box 596
 City, State, ZIP+4®
 Farmington, AR 72730

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

9589 0720 5270 2111 9576 69

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT

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Farmington, AR 72730

Certified Mail Fee	\$5.30
Extra Services & Fees (check box, add fee as appropriate)	\$4.40
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☐ Certified Mail Restricted Delivery	\$0.00
☐ Adult Signature Required	\$0.00
☐ Adult Signature Restricted Delivery	\$0.00
Postage	\$0.78
Total Postage and Fees	\$10.48

0718
05Postmark
Here

11/07/2025

Sent To
 Street and Apt. No., or PO Box No.
 KSDA, Inc.
 PO Box 605
 City, State, ZIP+4®
 Farmington, AR 72730

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

9589 0720 5270 1439 4348 76

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT

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Farmington, AR 72730

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☐ Adult Signature Restricted Delivery	\$0.00
Postage	\$0.78
Total Postage and Fees	\$10.48

0718
05Postmark
Here

11/07/2025

Sent To
 Street and Apt. No., or PO Box No.
 Gregory S. Mann and Paige H. Mann
 503 W. Twin Falls Drive
 City, State, ZIP+4®
 Farmington, AR 72730

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

**NOTICE OF PUBLIC HEARING BEFORE
THE FARMINGTON PLANNING COMMISSION
ON AN APPLICATION FOR LARGE SCALE DEVELOPMENT**

To All Owners of land lying adjacent to the property at:

12245 W. Highway 62, Farmington, Arkansas

Location

Grand Savings Bank

Owned by

NOTICE IS HEREBY GIVEN THAT an application has been filed for LARGE SCALE DEVELOPMENT of the above property .

A public hearing on said application will be held by the Farmington Planning Commission at Farmington City Hall, 354 W. Main St. on Monday, 24 November, 2025 at 6:00 p.m.

All parties interested in this matter may appear and be heard at said time and place; or may notify the Planning Commission of their views on this matter by letter. All persons interested in this request are invited to call or visit the City Business Manager at City Hall, 354 W. Main, 479-267-3865.



VICINITY MAP
N.T.S.

SITE DEVELOPMENT DRAWINGS

GRAND SAVINGS BANK - FARMINGTON BRANCH

12245 W. HIGHWAY 62

CITY OF FARMINGTON, ARKANSAS

REVISION 1 - FOR REVIEW
NOVEMBER, 2023
LARGE-SCALE DEVELOPMENT

CONTACT LIST

OWNER
Grand Savings Bank
12245 W. Highway 62, Suite 115
Farmington, AR 72708
Phone: (501) 771-1115
Fax: (501) 771-1116
Email: info@grand-savings.com

ARCHITECT
J. Lee & Associates, Inc.
12245 W. Highway 62, Suite 115
Farmington, AR 72708
Phone: (501) 771-1115
Fax: (501) 771-1116
Email: info@jleeandassociates.com

ENGINEER
4iE Engineering, Inc.
12245 W. Highway 62, Suite 115
Farmington, AR 72708
Phone: (501) 771-1115
Fax: (501) 771-1116
Email: info@4ie-engineering.com

OWNER
Grand Savings Bank
12245 W. Highway 62, Suite 115
Farmington, AR 72708
Phone: (501) 771-1115
Fax: (501) 771-1116
Email: info@grand-savings.com

GENERAL NOTES

1. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF FARMINGTON, ARKANSAS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF FARMINGTON, ARKANSAS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF FARMINGTON, ARKANSAS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF FARMINGTON, ARKANSAS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF FARMINGTON, ARKANSAS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF FARMINGTON, ARKANSAS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF FARMINGTON, ARKANSAS.

PLANS PREPARED BY



Grand Savings Bank

12245 W. Highway 62, Suite 115
Farmington, AR 72708
Phone: (501) 771-1115
Fax: (501) 771-1116
Email: info@grand-savings.com



VICINITY MAP
N.T.S.



SHEET INDEX

- | NO. | DESCRIPTION |
|-----|--------------------|
| 1 | COVER SHEET |
| 2 | GENERAL NOTES |
| 3 | EXISTING SITE PLAN |
| 4 | PROPOSED SITE PLAN |
| 5 | PROPOSED SITE PLAN |
| 6 | PROPOSED SITE PLAN |
| 7 | PROPOSED SITE PLAN |
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COVER SHEET
FARMINGTON, ARKANSAS
GRAND SAVINGS BANK - FARMINGTON BRANCH



4iE Engineering, Inc.
12245 W. Highway 62, Suite 115
Farmington, AR 72708
Phone: (501) 771-1115
Fax: (501) 771-1116
Email: info@4ie-engineering.com

DATE	11/15/23
DESIGNED	4iE
CHECKED	4iE
IN CHARGE	4iE
FOR REVIEW	4iE
PROJECT NO.	12345
SHEET	C.10

STANDARD DUTY ASPHALT PAVING
N.E.

PAVING DETAILS
N.E.

HEAVY DUTY CONCRETE PAVING
N.E.

STOP SIGN
N.E.

ACCESSIBLE SIGN
N.E.

ACCESSIBLE PAVEMENT MARKING
N.E.

90° VAN ACCESSIBLE STRIPING
N.E.

CONCRETE CURB AND GUTTER
N.E.

MODIFIED CURB AND GUTTER
N.E.

CONCRETE BOLLARD
N.E.

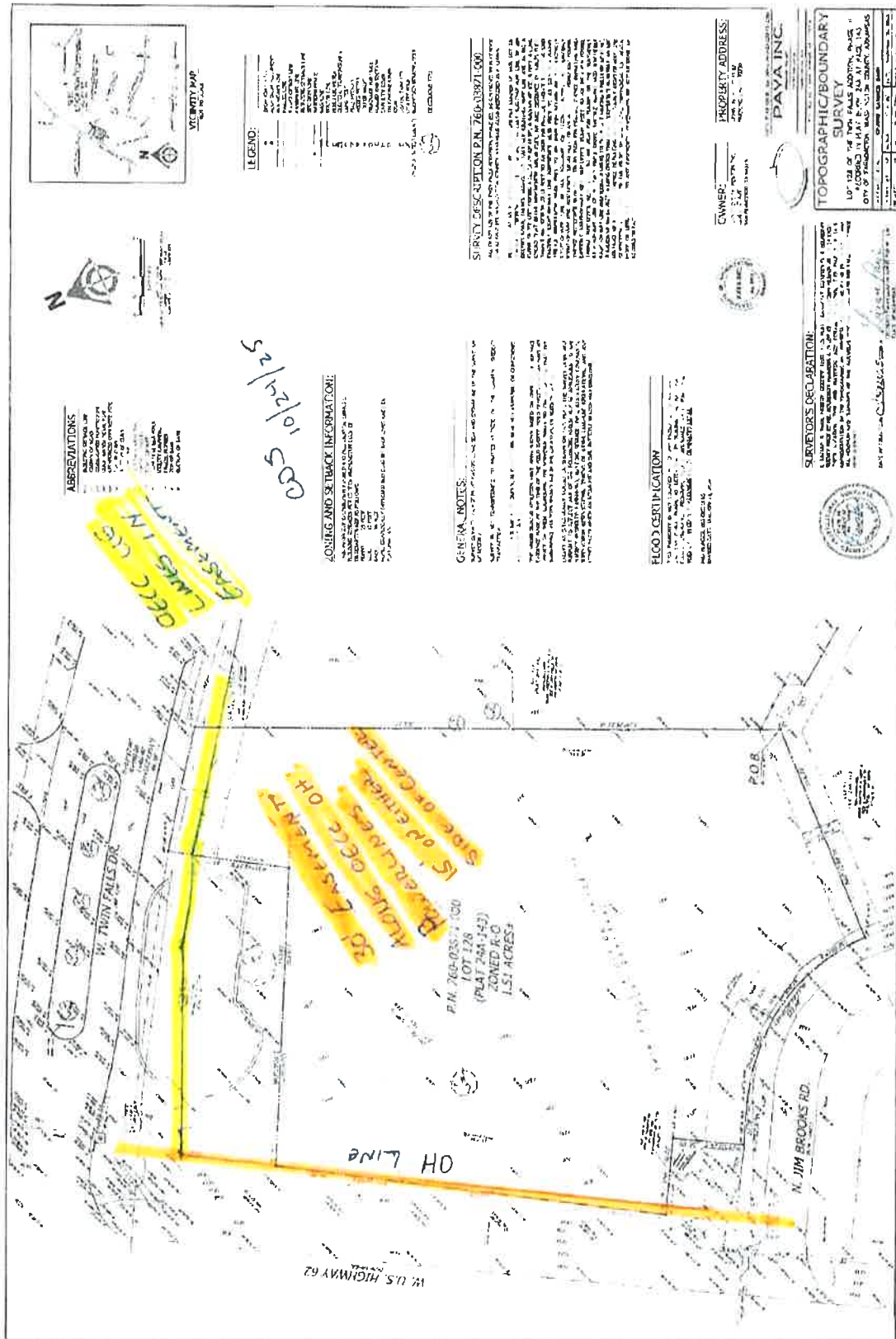
CONCRETE SIDEWALK
N.E.

TRAFFIC SIGN POST
N.E.

90° PARKING STRIPING
N.E.

WHEELCHAIR RAMP DETAILS
N.E.

LIGHT POLE BASES
N.E.



**NOTICE OF PUBLIC HEARING BEFORE
THE FARMINGTON PLANNING COMMISSION
ON AN APPLICATION FOR LARGE SCALE DEVELOPMENT**

To All Owners of land lying adjacent to the property at:

12245 W. Highway 62, Farmington, Arkansas

Location

Grand Savings Bank

Owned by

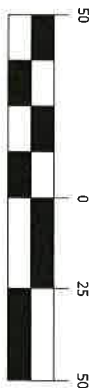
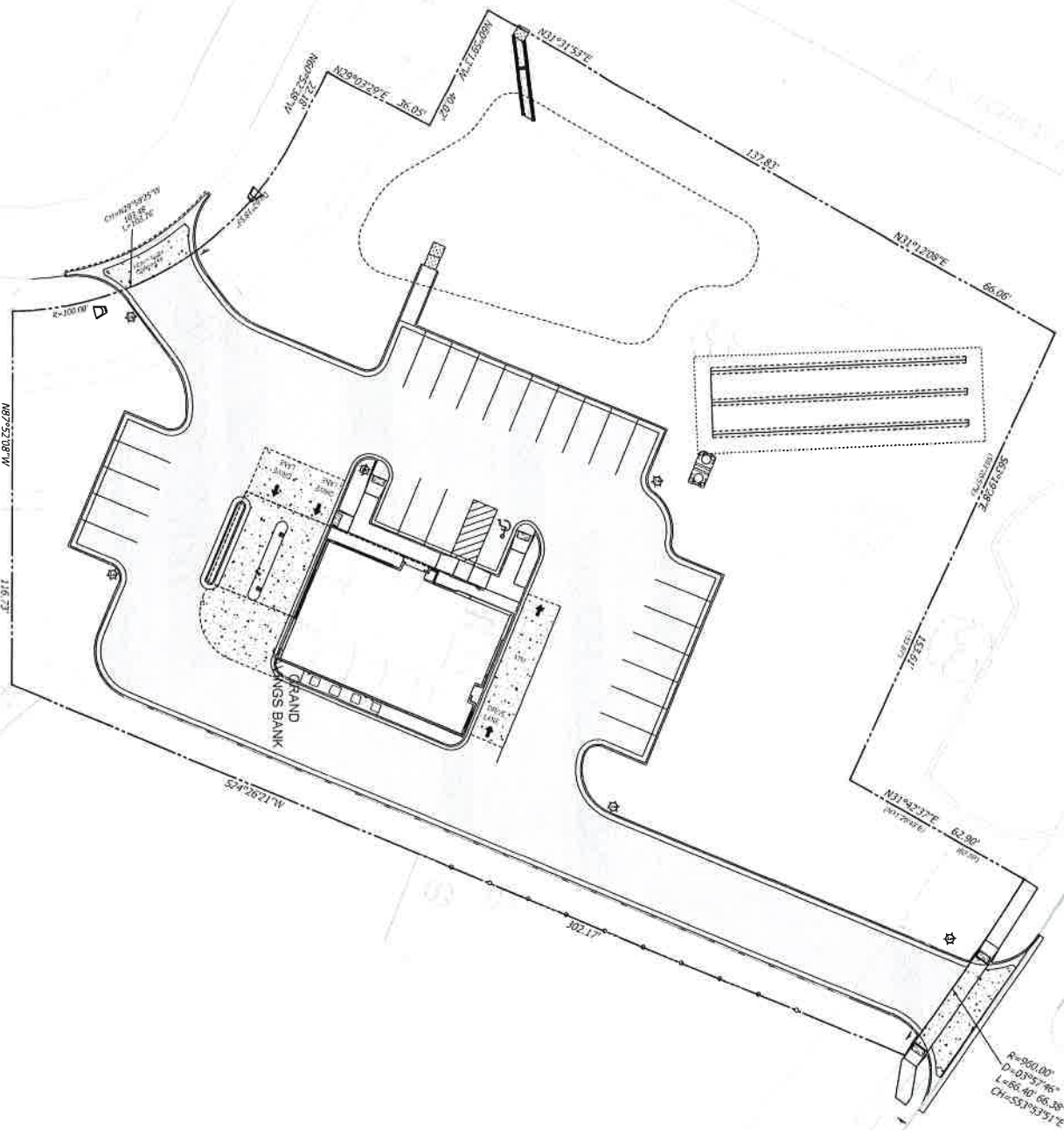
NOTICE IS HEREBY GIVEN THAT an application has been filed for LARGE SCALE DEVELOPMENT of the above property .

A public hearing on said application will be held by the Farmington Planning Commission at Farmington City Hall, 354 W. Main St. on Monday, 24 November, 2025 at 6:00 p.m.

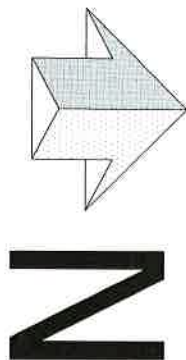
All parties interested in this matter may appear and be heard at said time and place; or may notify the Planning Commission of their views on this matter by letter. All persons interested in this request are invited to call or visit the City Business Manager at City Hall, 354 W. Main, 479-267-3865.



VICINITY MAP
N.T.S.



GRAPHIC SCALE



4IE ENGINEERING
479.381.1066
P.O. BOX 56
Springdale, Arkansas
©2024 Civil Design Engineers, Inc.

SITE PLAN

GRAND SAVINGS BANK
FARMINGTON, ARKANSAS

DRAWN	CKD	SHEET
FF	FF	1 / 1

CITY OF FARMINGTON
TECHNICAL PLAT REVIEW COMMITTEE REPORT

Applicant: Grand Saving Bank

Date: November 4, 2025

Project Name: Grand Savings Bank LSD

Engineer/Architect: 4iE Engineering, Inc

Following are **recommendations** from the Technical Plat Review Committee that **must be addressed prior to your application being submitted to the Planning Commission at its next regular meeting.** The information must be submitted to the Planning Office before **12 noon** the following Tuesday from the date above in order for the item to be placed on the agenda for the Commission meeting. A narrative addressing each comment must be submitted along with the revised plat.

Representing: KMS Engineering/Farmington

Name: Christopher Brackett, P.E.

1. Note that the instructions above say that the technical plat comments must be addressed prior to the re-submission, and that a narrative for each comment must be submitted along with the revised plat.
2. Along with the hard copies required for the City, one digital copy of everything included in the submission shall be emailed to KMS at chris@kms-engr.com.
3. This project will be required to improve Jim Brooks Road to the Master Transportation Plan Section. Jim Brooks is a local road with a 50' right-of-way, 27' back-to-back curbed road, 6' greenspace and a 5' sidewalk.
4. The detention pond must be sodded from the top of the bank.
5. The bottom of the detention pond must have a slope of at least 1% to the outlet weir with a 5' concrete trickle channel for the inlet flume to the outlet weir.
6. 26 parking spaces require 2 handicap spaces with one of them being van accessible.
7. Provide the ADH approval for the septic design. This approval will be required prior to Planning Approval.
8. Drainage Report: No Comments

CITY OF FARMINGTON
TECHNICAL PLAT REVIEW COMMITTEE REPORT

Applicant: CDE

Date: November 4, 2025

Project Name: Grand Savings

Engineer/Architect: CDE

Following are **recommendations** from the Technical Plat Review Committee that **must be addressed prior to your application being submitted to the Planning Commission at its next regular meeting**. The information must be submitted to the Planning Office before **12 noon** the following Tuesday from the date above for the item to be placed on the agenda for the Commission meeting. A narrative addressing each comment must be submitted along with the revised plat.

Representing: City of Farmington Name: Melissa McCarville

1. Engineering fees will accumulate as the development continues. We are billing the engineering fees monthly.
2. Adjacent property owners must be notified by certified mail; receipts should be submitted by one week prior to the Planning Commission meeting.
3. An advertisement regarding the development should be in the paper no later than 15 days prior to the planning commission meeting. Proof of publication must be provided when it is available. The Democrat Gazette only publishes legal notices on Sunday and the Washington County Enterprise Leader is published on Wednesday. **With this in mind, the ad has to be in the paper by Sunday, November 9, 2025, to meet the deadline.**
5. Please submit a revised plan by next Tuesday. The City requires 15 copies for planning commission. Plans must be folded with all sheets included in one set. We don't need all the detail for planning commission, a site plan and landscape plan would probably be sufficient. If I can also get a PDF version that can be distributed to the public and added to Facebook and our website that would be great.
6. A revised copy of the plan and drainage plan should be delivered to City Hall for Chris Brackett; he will also accept digital copies.
7. Planning Commission meeting will be **Monday November 24, 2025 at 6:00 pm.**



Fire Department
City of Farmington, AR
372 W. Main St.
Farmington, AR 72730
479-267-3338



Date: 10/24/25

William Hellard

Fire Chief

Farmington Fire Department

372 W Main St. Farmington, AR, 72730

Subject: Grand Savings Bank

Knox Box Access will be required.

Fire Lane Signage

D103.6.1 Roads 20 to 26 Feet in Width

Fire lane signs as specified in Section D103.6 shall be posted on both sides of fire apparatus access roads that are 20 to 26 feet wide.

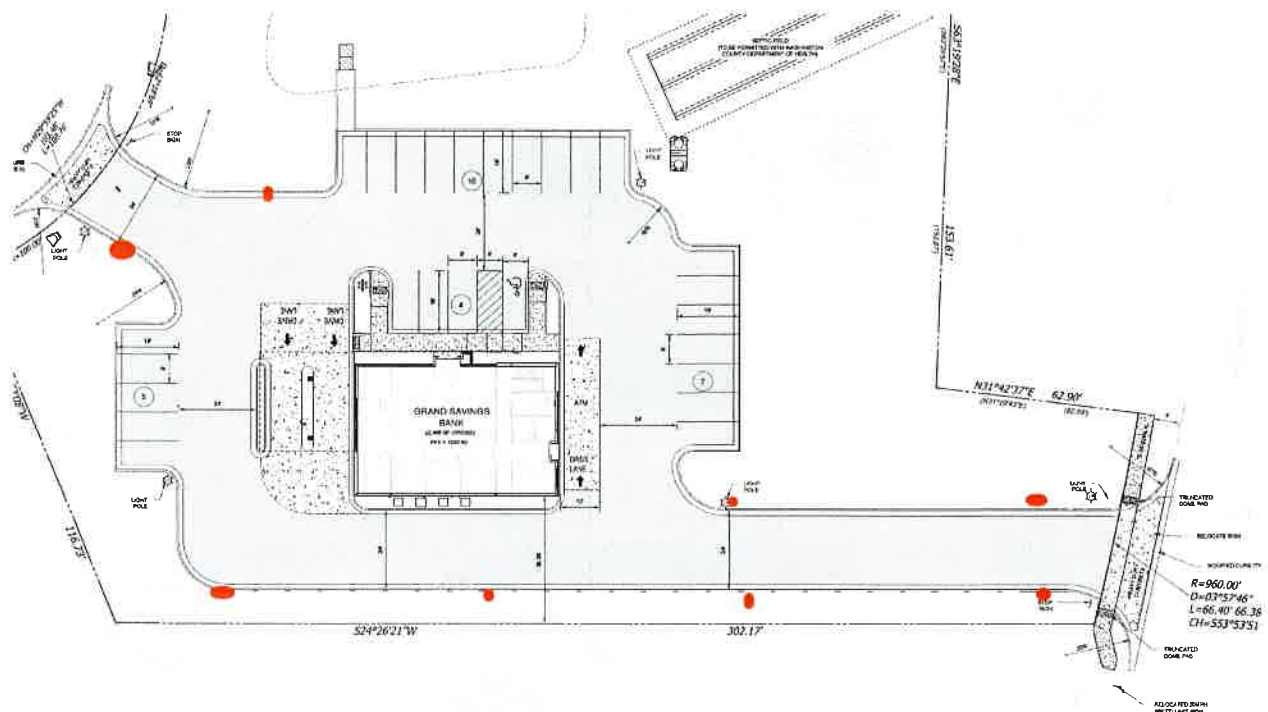
SIGN TYPE "A"



SIGN TYPE "C"



SIGN TYPE "D"





Earthplan Design Alternatives, PA

Civil Engineering / Landscape Architecture

PLANNING COMMISSION LETTER

Project: Grand Savings Bank Hwy 62 LSD

EDA project #: 2641_F

Letter creation: November 4, 2025

TPR Meeting: November 4, 2025

Mrs. McCarville,

We have reviewed the LSD plans submittal by 4iE Engineering for the project known as Grand Savings Bank Hwy – Farmington Branch (referred to by EDA as Grand Savings Bank - Hwy 62 LSD) received by EDA on 10/24/25. The plan set's cover page stamp is dated 10/21/25. EDA only reviewed the landscape sheets in this plan set; the other sheets are reviewed by other entities. Based on our review, we offer the following comments:

Sheet L1.0:

1. *All below items shall be addressed on the plans and a narrative letter describing how said items have been addressed must be submitted with the resubmittal. Submit a copy to the City and to Sarah Geurtz (sdg@eda-pa.com).*
2. *Street trees: please confirm with the City regarding if it's acceptable with them to have the street trees within the right of way as shown on the plans, since street trees are not stipulated within the City's Master Street Plan road profiles and since the City will not maintain them.*
3. *Please correct the direction of the north arrow this sheet.*
4. *Please show all proposed and existing utilities this sheet. We will then re-review for any tree conflicts.*
5. *Along Hwy 62 - please relocate the two proposed shrubs shown on the adjacent property.*
6. *Plant legend-please update the *Ilex vomitoria* quantity.*
7. *Please update the vicinity map in the upper left-hand corner to the new Grand Savings' Bank's proposed location.*
8. *A 6' tall opaque fence is required along the entire south and eastern property boundaries (where a fence meeting these stipulations doesn't already exist on an adjacent property) since those sides face residential properties.*
9. *Provide screening for the sides of the HVAC units from view from W Twin Falls Dr and Jim Brooks Rd (the front of the units will be sufficiently screened from the neighbor's view by the required fencing. View 14.04.23 (c) for screening requirements which apply to all roof, ground, and wall-mounted mechanical equipment.*
10. *Update the irrigation note: If to be watered by hose bibs, show on the plan where they will be located and make the note refer to only hose bib watering. If to be watered by an irrigation system, update the note to stipulate this.*

11. Sheet L1.1:

- a. Warranty heading: update to reflect the City's 2 year warranty requirement.
- b. Update detail 3's mulch depth requirement to only refer to 3" mulch).

If you have any questions, please do not hesitate to contact EDA.

Please note that this review was for general compliance and does not warrant the work or documents submitted by the applicant and engineer; nor does it relieve the owner from any items discovered during design or construction which are deemed necessary to comply with City ordinances and criteria.

Sincerely,

A handwritten signature in cursive script, appearing to read "Sarah Geurtz".

Sarah Geurtz, PLA

LeAnn Tolleson

From: Hughes, Shannon E. <SEHughes@GarverUSA.com>
Sent: Monday, November 3, 2025 9:55 AM
To: LeAnn Tolleson
Cc: Stephanie Eiland; James Ballou; Gregory, Lawrence F. (Larry)
Subject: FW: Tech Plat Review meeting

Good morning LeAnn,

On behalf of WWA, comments for the Grand Savings Bank are as follows:

- The existing meter appears to service the irrigation system of the POA lot located adjacent to this property. A new service meter and tap will need to be made, sized appropriately for the 1.5" service.

Thank you,
Shannon Hughes
Garver
479-800-1931

From: Hughes, Shannon E.
Sent: Tuesday, October 28, 2025 1:27 PM
To: Gregory, Lawrence F. (Larry) <lfgregory@garverusa.com>
Subject: RE: Tech Plat Review meeting

Larry,

I saved this here:

[\\garverinc.local\gdata\Projects\2023\23W01680 - WWA 2023 On-Call\Planning\Engineering Reviews\Farmington\Grand Savings Bank\2025-10-24](#)

This site is located within WWA boundary and already has a meter ready to go. The only water work proposed is connecting to the existing meter and running service to the building, so I have no comments.

Thank you,
Shannon Hughes
Garver
479-800-1931

From: Gregory, Lawrence F. (Larry) <LFGregory@GarverUSA.com>
Sent: Friday, October 24, 2025 1:10 PM
To: Hughes, Shannon E. <SEHughes@GarverUSA.com>
Subject: Fw: Tech Plat Review meeting

Let's look at this on Monday.

Date: 10/24/25

City of: Farmington

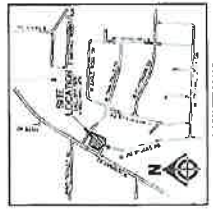
Name: Grand Savings Bank

General Comments:

1. Any relocation of existing facilities or extension of line that has to be built specifically to feed this project will be at full cost to the developer.
2. All property corners and easements must be clearly marked before construction will begin.
3. All off site easements that are needed for Ozarks to extend electrical service to the property must be obtained by developer and easement documentation provided to Ozarks before work begins. On site easements must be shown on plat and recorded with the county.
4. All conduits placed at road crossings by developer must have 48 inch of cover at final grade and marked with post to identify end of conduits. (3 – 6 inch schedule 40 conduits to be used for electric only at all road crossings, conduits must extend past the edge of any obstructions so that they are accessible during construction. Bare minimum of 5 pipes) There must be minimum separation of 12 inches between conduits for electric and conduits for other utilities. This is NESC code 354. All conduits for road crossings and specific widths of U.E. must be shown on final plat before Ozarks Electric will sign the final plat.
5. Transformer must have a minimum of 30 feet clearance from any structure. Any variation of this requirement must have written approval from an Ozarks representative.
6. Developer will need to contact Ozarks Electric and provide them with electrical load information before any cost to developer can be determined.
7. Developer to provide all trench and PVC conduits including PVC sweeps in accordance with Ozarks specifications. No metal conduit or metal sweeps are to be used.
8. Developer must provide Ozarks Electric with a Digital copy (AutoCAD) of the Final plat as well as a hard copy.
9. All Utility Easements to be cleared of all trees, brush, dirt piles, buildings and debris so that the easement is accessible with equipment. If easement is not cleared developer may be subject to extra charges.
10. Developer or contractor must apply for temporary construction service and permanent service before any design and cost is determined by Ozarks.
11. Please contact Ozarks Electric when construction begins on this project and again when construction is within three months of completion.

Call: **Cheston Shadrick at (479) 684-9807 eshadrick@ozarksecc.com** or Wes Mahaffey at (479)263-2167 wmahaffey@ozarksecc.com

Additional Comments: See additional attachment for easement needed.



500/12/25

BACK: 30 HUNT
NOTE: GRAPHICALLY DIFFERENT RED CAGE SETBACK LINES ARE PER
MITTED.

GENERAL INQUIRIES.

THE FOLLOWING INFORMATION WAS OBTAINED FROM THE SERVICE RECORD OF THE ABOVE-NAMED INDIVIDUAL:

SAVITRY IS "UNEMPLOYABLE TO PARTIAL EXTENT OF THE CAPABILITY SUBJECT TRAINING."

ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED DATE 11-17-2010 BY 60322 UCBAW/STP/STP

THE INDIVIDUAL'S RECORDS HAVE BEEN SEARCHED ON THE FOLLOWING INDEXED SUBJECTS:

1. ARRESTS AND VIOLATIONS

2. EMPLOYMENT

3. EDUCATION

4. FINANCIAL

5. HEALTH

6. IDENTIFICATION

7. INVESTIGATION

8. MILITARY SERVICE

9. NATURALIZATION

10. PASTORAL RECORD

11. PENDING

12. PROBATION

13. REENTRY

14. RESIDENCE

15. TRAVEL

16. VETERAN'S RECORD

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DATE OF BIRTH: 02/02/2025 SEX: F NAME: LIZANO FAJPI

OWNER:
SUNBELT INDUSTRIES INC.
1735 26TH AVE.
SAN FRANCISCO, CA 94115

TELEPHONE: 562-258-7740 FAX: 562-258-7741
DAVA INC.

PHIC/BOUNDARY SURVEY

LOT 12B OF THE TOWN FALLS ADDITIONAL PHASE II
RECORDED IN PLAT BOOK 243 AT PAGE 143

RECORDED IN DEED BOOK 248 AT PAGE 170
CITY OF FARMINGTON, WASHINGTON COUNTY, ARKANSAS

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4iE Engineering

P.O. Box 56, Cave Springs, AR 72718

Phone: (479)381-1066

Email: ffourie@civilde.com

November 10, 2025
Melissa McCarville
City Business Manager
City of Farmington
354 W. Main Street
Farmington, AR 72730
Office: 479.267.3865

Re: Comment Response – Landscape Comments
Grand Savings Bank – Farmington Branch
Large Scale Development

Dear Ms. McCarville:

The following is in response to the Landscape Plan of the proposed Grand Savings Bank branch in Farmington, dated November 4, 2025:

1. All below items shall be addressed on the plans and a narrative letter describing how said items have been addressed must be submitted with the resubmittal. Submit a copy to the City and to Sarah Geurtz (sdg@eda-pa.com).
[A response letter will be submitted to the city with the next submittal.](#)

2. Street trees: please confirm with the City regarding if it's acceptable with them to have the street trees within the right of way as shown on the plans, since street trees are not stipulated within the City's Master Street Plan road profiles and since the City will not maintain them.

[Street trees moved to be within property](#)

3. Please correct the direction of the north arrow this sheet.
[North arrow has been corrected.](#)

4. Please show all proposed and existing utilities this sheet. We will then re-review for any tree conflicts.
[All utilities are shown on the landscape plan.](#)

5. Along Hwy 62 - please relocate the two proposed shrubs shown on the adjacent property.
[Shrubs have been moved to within the property line.](#)
6. Plant legend-please update the flex vomitoria quantity.
[Plant quantities in the plant legend have been updated.](#)
7. Please update the vicinity map in the upper left-hand corner to the new Grand Savings' Bank's proposed location.
[Vicinity map has been removed from the landscape plan.](#)
8. A 6' tall opaque fence is required along the entire south and eastern property boundaries (where a fence meeting these stipulations doesn't already exist on an adjacent property) since those sides face residential properties.

[6' Fence shall be installed where not currently existing.](#)
9. Provide screening for the sides of the HVAC units from view from W Twin Falls Dr and Jim Brooks Rd (the front of the units will be sufficiently screened from the neighbor's view by the required fencing. View 14.04.23 (c) for screening requirements which apply to all roof, ground, and wall mounted mechanical equipment.
6' fence shall serve as screening for the HVAC units.
[Screening fence added](#)
10. Update the irrigation note: If to be watered by hose bibs, show on the plan where they will be located and make the note refer to only hose bib watering. If to be watered by an irrigation system, update the note to stipulate this.
[Location for hose bibs have been placed on the landscape plan.](#)
11. Sheet L1.I:
 - a. Warranty heading: update to reflect the City's 2 year warranty requirement.
 - b. Update detail 3's mulch depth requirement to only refer to 3/1 mulch).
[Note 17 on sheet L1.0 states all plant material shall be warranted for 24 months.](#)
[Shrub mulch revised to 3" of mulch depth.](#)

Sincerely,
James Gibson, PLA
LandTekStudios
479.283.9721



4iE Engineering, Inc.

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Phone: (479)381-1066

Email: ffourie@civilde.com

November 10, 2025
Melissa McCarville
City Business Manager
City of Farmington
354 W. Main Street
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Office: 479.267.3865

Ferdinand Fourie, P.E.
P.O. Box 56
Cave Springs, Arkansas 72718
479.381.1066
ffourie@4iE.Engineering

Re: Comment Response – Landscape Comments
Grand Savings Bank – Farmington Branch
Large Scale Development

Dear Ms. McCarville:

The following is in response to the Landscape Plan of the proposed Grand Savings Bank branch in Farmington, dated November 4, 2025:

Representing: KMS Engineering/Farmington Name: Christopher Brackett, P.E.

1. Note that the instructions above say that the technical plat comments must be addressed prior to the resubmission, and that a narrative for each comment must be submitted along with the revised plat.

Ok

2. Along with the hard copies required for the City, one digital copy of everything included in the submission shall be emailed to KMS at chris@kms-engr.com.

Ok

3. This project will be required to improve Jim Brooks Road to the Master Transportation Plan Section. Jim Brooks is a local road with a 50' right-of-way, 27' back-to-back curbed road, 6' greenspace and a 5' sidewalk.

Along the area of our project the ROW appears to be 60'. None of the existing street is a curbed road and Jim Brooks is not centered within the ROW. There is no sidewalk to connect to.

4. The detention pond must be sodded from the top of the bank.

Added to Grading Plan

5. The bottom of the detention pond must have a slope of at least 1 % to the outlet weir with a 5' concrete trickle channel for the inlet flume to the outlet weir.
5' Concrete trickle channel added at 1% as shown on Site and Grading Plan drawings.
6. 26 parking spaces require 2 handicap spaces with one of them being van accessible.
One standard space converted to ADA at building.
7. Provide the ADH approval for the septic design. This approval will be required prior to Planning Approval.
As discussed at tech plat, the final septic design will be completed as part of construction plan submittal.
8. Drainage Report: No Comments
Ok

Representing: City of Farmington Name: Melissa McCarville

1. Engineering fees will accumulate as the development continues. We are billing the engineering fees monthly.
Ok
2. Adjacent property owners must be notified by certified mail; receipts should be submitted by one week prior to the Planning Commission meeting.
Registered mailings sent and receipts submitted as part of resubmittal.
3. An advertisement regarding the development should be in the paper no later than 15 days prior to the planning commission meeting. Proof of publication must be provided when it is available.
The Democrat Gazette only publishes legal notices on Sunday and the Washington County Enterprise Leader is published on Wednesday. **With this in mind, the ad has to be in the paper by Sunday, November 9, 2025, to meet the deadline.**
Ad in paper November 9, 2025 – certificate included with resubmittal

4. Please submit a revised plan by next Tuesday. The City requires 15 copies for planning commission. Plans must be folded with all sheets included in one set. We don't need all the detail for planning commission, a site plan and landscape plan would probably be sufficient. If I can also get a PDF version that can be distributed to the public and added to Facebook and our website that would be great.
15 EA hardcopy submittal to consist of Cover, Site, Utility and Landscape drawings. At half size.
5. A revised copy of the plan and drainage plan should be delivered to City Hall for Chris Brackett; he will also accept digital copies.
Ok
6. Planning Commission meeting will be Monday November 24,2025 at 6:00 pm.
Ok

William Hellard, Fire Chief - Farmington Fire Department

1. Knox Box Access will be required.

Ok

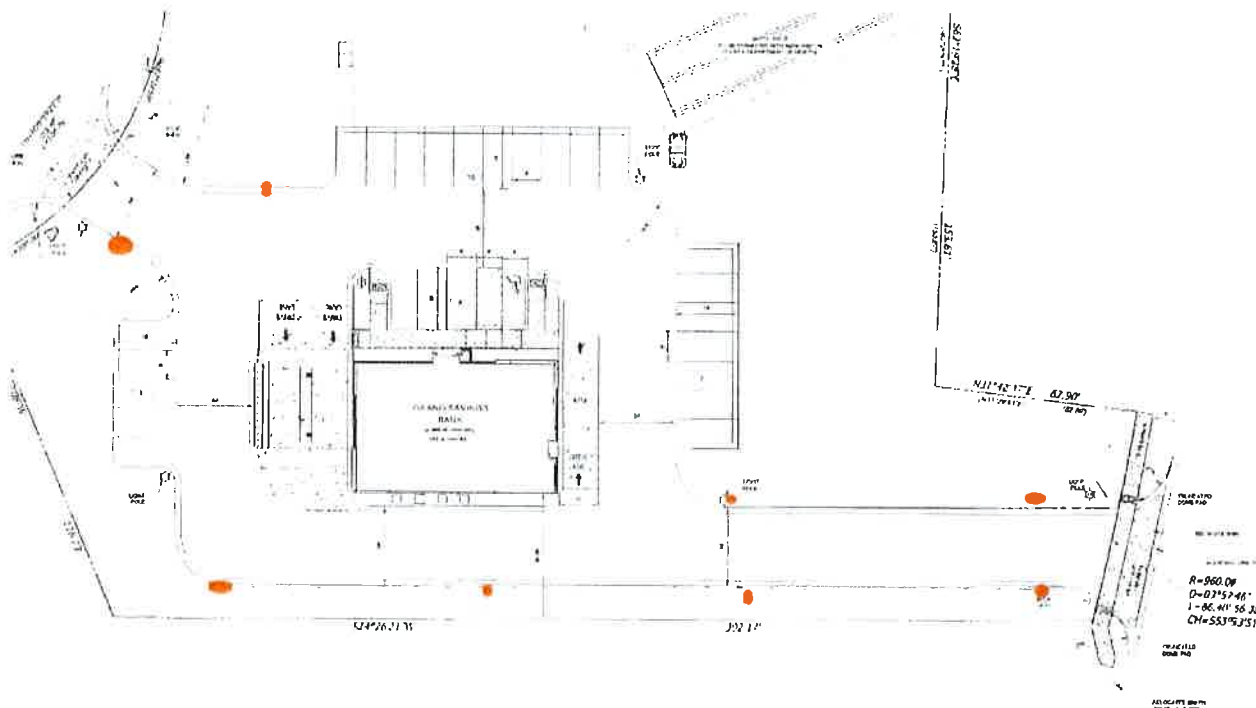
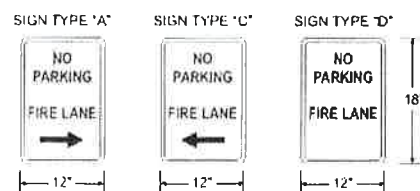
2. Fire Lane Signage

Added to Site Plan

3. D 1 03 .6.1 Roads 20 to 26 Feet in Width

4. Fire lane signs as specified in Section D 103 .6 shall be posted on both sides of fire apparatus access roads that are 20 to 26 feet wide.

Added to Site Plan



Washington Water Authority – Shannon Hughes (Garver; 479.800.1931)

1. The existing meter appears to service the irrigation system of the POA lot located adjacent to this property. A new service meter and tap will need to be made, sized appropriately for the 1.5" service.

Additional service added

Representing: City of Fayetteville Name: Justin Bland

1. This project does not seem to have and connections to any City of Fayetteville utilities.
Yes

Representing: Ozarks Electric Cooperative Name: Wes Mahaffey

1. Any relocation of existing facilities or extension of line that has to be built specifically to feed this project will be at full cost to the developer.
Ok
2. All property corners and easements must be clearly marked before construction will begin.
Ok
3. All off site easements that are needed for Ozarks to extend electrical service to the property must be obtained by developer and easement documentation provided to Ozarks before work begins. On site easements must be shown on plat and recorded with the county.
Ok
4. All conduits placed at road crossings by developer must have 48 inch of cover at final grade and marked with post to identify end of conduits. (3 - 6 inch schedule 40 conduits to be used for electric only at all road crossings, conduits must extend past the edge of any obstructions so that they are accessible during construction. Bare minimum of 5 pipes) There must be minimum separation of 12 inches between conduits for electric and conduits for other utilities. This is NESC code 354. All conduits for road crossings and specific widths of U.E. must be shown on final plat before Ozarks Electric will sign the final plat.
Ok
5. Transformer must have a minimum of 30 feet clearance from any structure. Any variation of this requirement must have written approval from an Ozarks representative.
Location added to Utility Plan
6. Developer will need to contact Ozarks Electric and provide them with electrical load information before any cost to developer can be determined.
Ok
7. Developer to provide all trench and PVC conduits including PVC sweeps in accordance with Ozarks specifications. No metal conduit or metal sweeps are to be used.
Ok

8. Developer must provide Ozarks Electric with a Digital copy (AutoCAD) of the Final plat as well as a hard copy.

There will not be a Final Plat since this property has been platted, but Easement Plat will be completed before occupancy

9. All Utility Easements to be cleared of all trees, brush, dirt piles, buildings and debris so that the easement is accessible with equipment. If easement is not cleared developer may be subject to extra charges.

Ok

10. Developer or contractor must apply for temporary construction service and permanent service before any design and cost is determined by Ozarks.

Ok

11. Please contact Ozarks Electric when construction begins on this project and again when construction is within three months of completion.

Ok

Call:

wmahaffey@ozarksecc.com

or Wes Mahaffey at (479)263-2167

Additional Comments: See additional attachment for easement needed.

25' Easement added along highway frontages at existing overhead line.